

1234 Vernon Ave**Proposed****Existing**

Lot Size
Zone

xxx m2 (xxx ft2)
RS-6

Lot Coverage

Principal Residence
Accessory Building(s)
Total Lot Coverage

xxx m2 (xxx ft2)
xxx m2 (xxx ft2)/ x%
xxx m2 (xxx ft2)/ x%

Setbacks

Front Lot Line Setback
Rear Lot Line Setback
Combined Front and Rear Setback
Interior Side Lot Line Setback (West)
Interior Side Lot Line Setback (East)
Combined Sideyard Setback

x.xx m (x'x")
x.xx m (x'x")
x.xx m (x'x")
x.xx m (x'x")
x.xx m (x'x")
x.xx m (x'x")

Height

Average Grade
Highest Sloped Roof Height
Highest Flat Roof Height

x.xx m
x.xx m (x'x")
x.xx m (x'x")

Single Face Height

Average Grade at Lowest Outermost Wall
Single Face Height

x.xx m
x.xx m (x'x")

Floor Area

Upper Floor Area
Lower Floor Area
Garage
Garage Exemption

x.xx m2 (x.xx ft2)
x.xx m2 (x.xx ft2)
x.xx m2 (x.xx ft2)
x.xx m2 (x.xx ft2)

Total Gross Floor Area

x.xx m2 (x.xx ft2)

Secondary Suite Floor Area (incl. above)

x.xx m2 (x.xx ft2)

***Note: Please include all floor areas, including basement areas, if required.**

***Note: Please submit all the required information for the existing house portion if you are doing a renovation or addition.**

Please refer to the Zoning Bylaw or Zoning staff for any clarifications or definitions.

SAMPLE SINGLE FAMILY DWELLING
770 VERNON AVE
VICTORIA BC



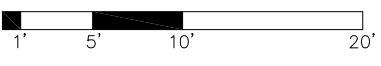
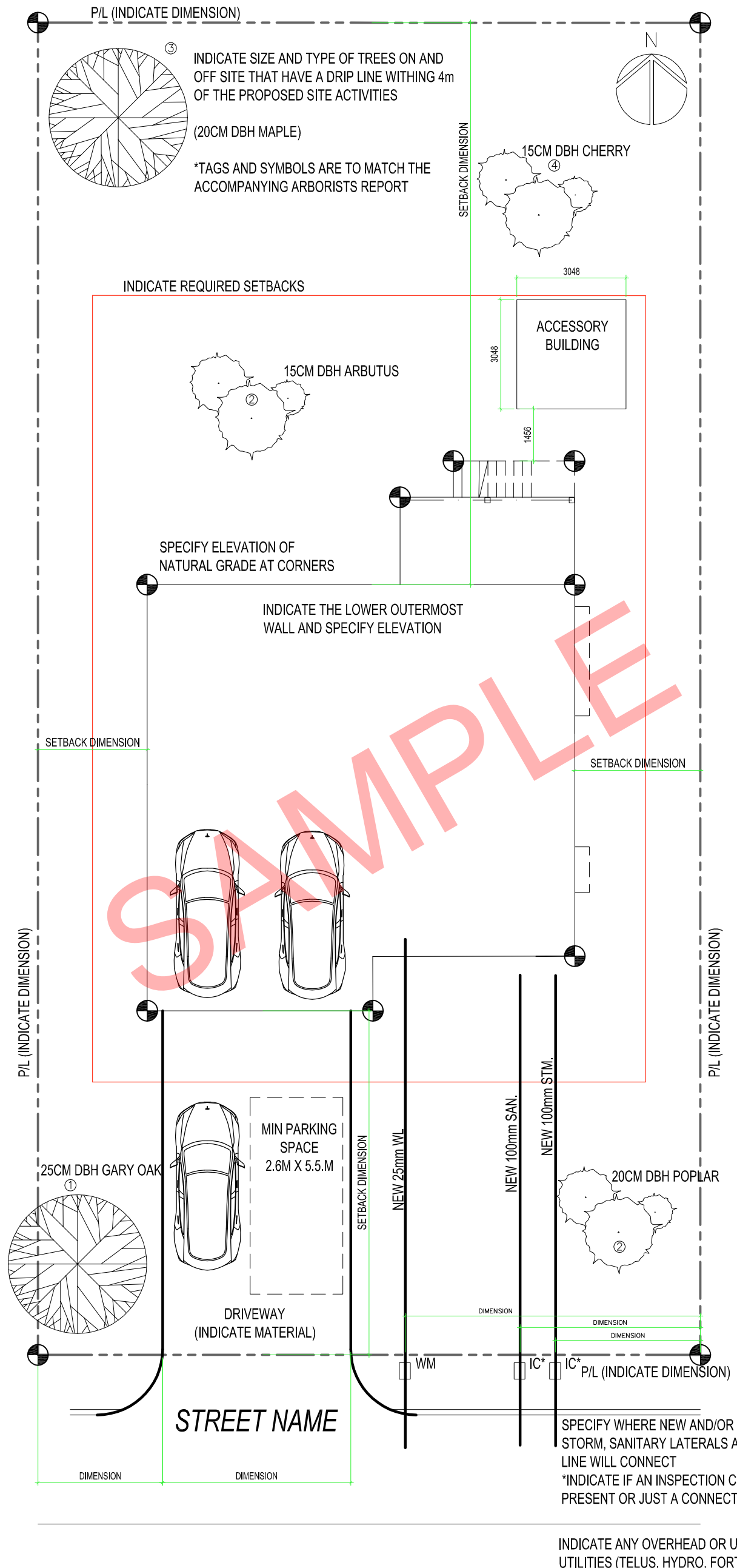
CONSTRUCTION DRAWINGS
VICTORIA BC 250 475 XXXX
inspections@saanich.ca
www.saanich.ca

DATE :	MARCH2020
DRAWN :	m. Wiesel
SCALE :	N/A
PROJECT :	SFD

N1

PROJECT DATA

PLEASE INDICATE ANY MUNICIPAL RIGHTS-OF-WAY ON THE PROPERTY

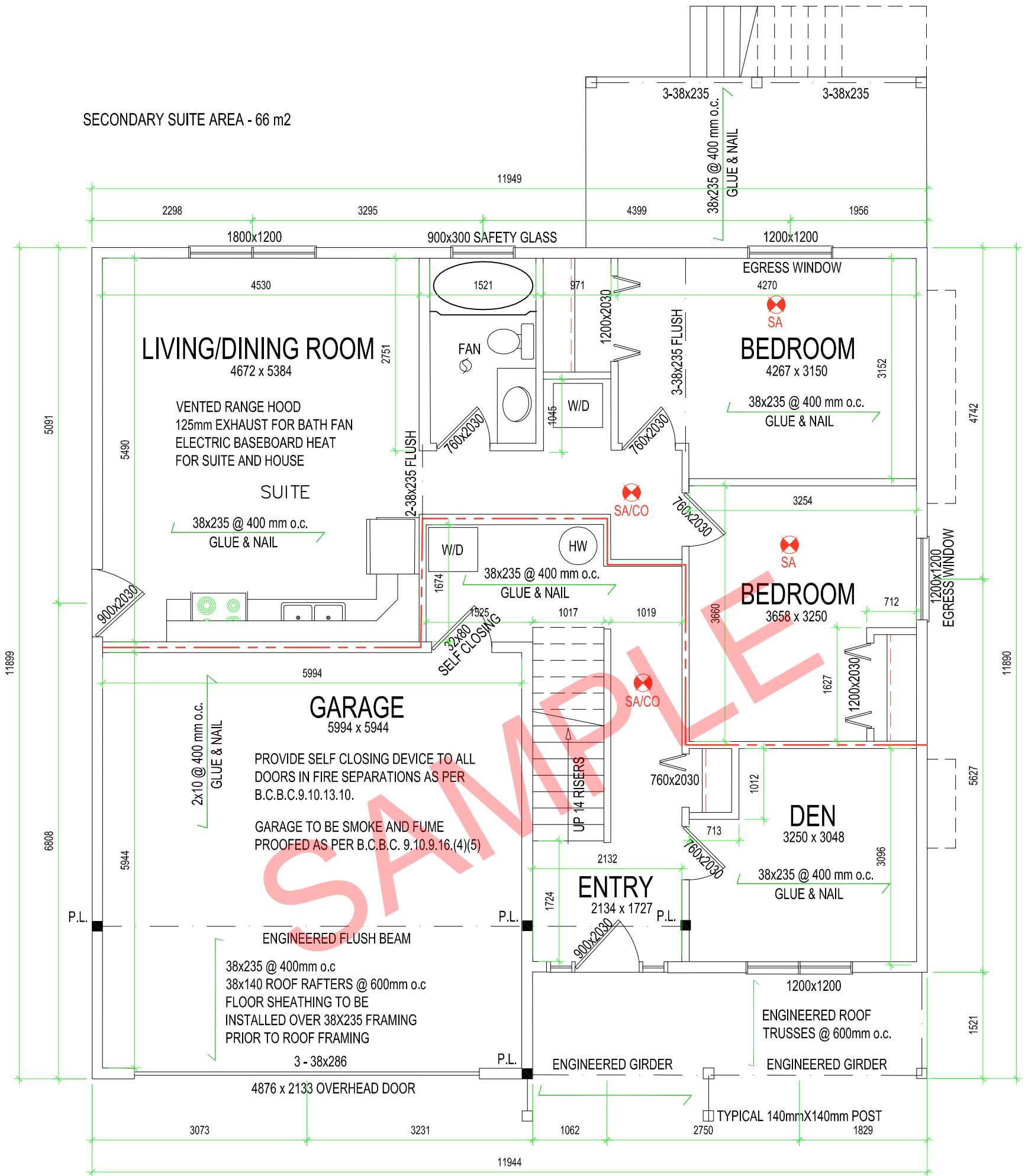


NOTE:
A SURVEY MAY BE REQUIRED TO CONFIRM LOCATION BEFORE THE FRAMING INSPECTION

SITE PLAN

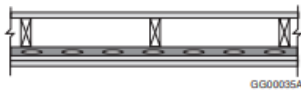
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SECONDARY SUITE AREA - 66 m²

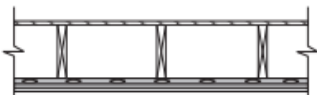


FIRE SEPARATION WALL AND FLOOR DETAIL

- W4a** W4 with
- studs spaced 400 mm o.c.
 - 15.9 mm Type X gypsum board⁽⁷⁾
 - resilient metal channels on one side spaced 400 mm or 600 mm o.c.
 - 2 layers of gypsum board on resilient metal channel side
 - 1 layer of gypsum board on other side



- F9c⁽¹⁶⁾** F9 with
- absorptive material in cavity
 - resilient metal channels spaced 400 mm o.c.
 - 15.9 mm Type X gypsum board



NOTE:

STRUCTURAL DESIGN MAY REQUIRE THE SERVICES OF A PROFESSIONAL ENGINEER

LOWER FLOOR

102 m² + 39 m² GARAGE

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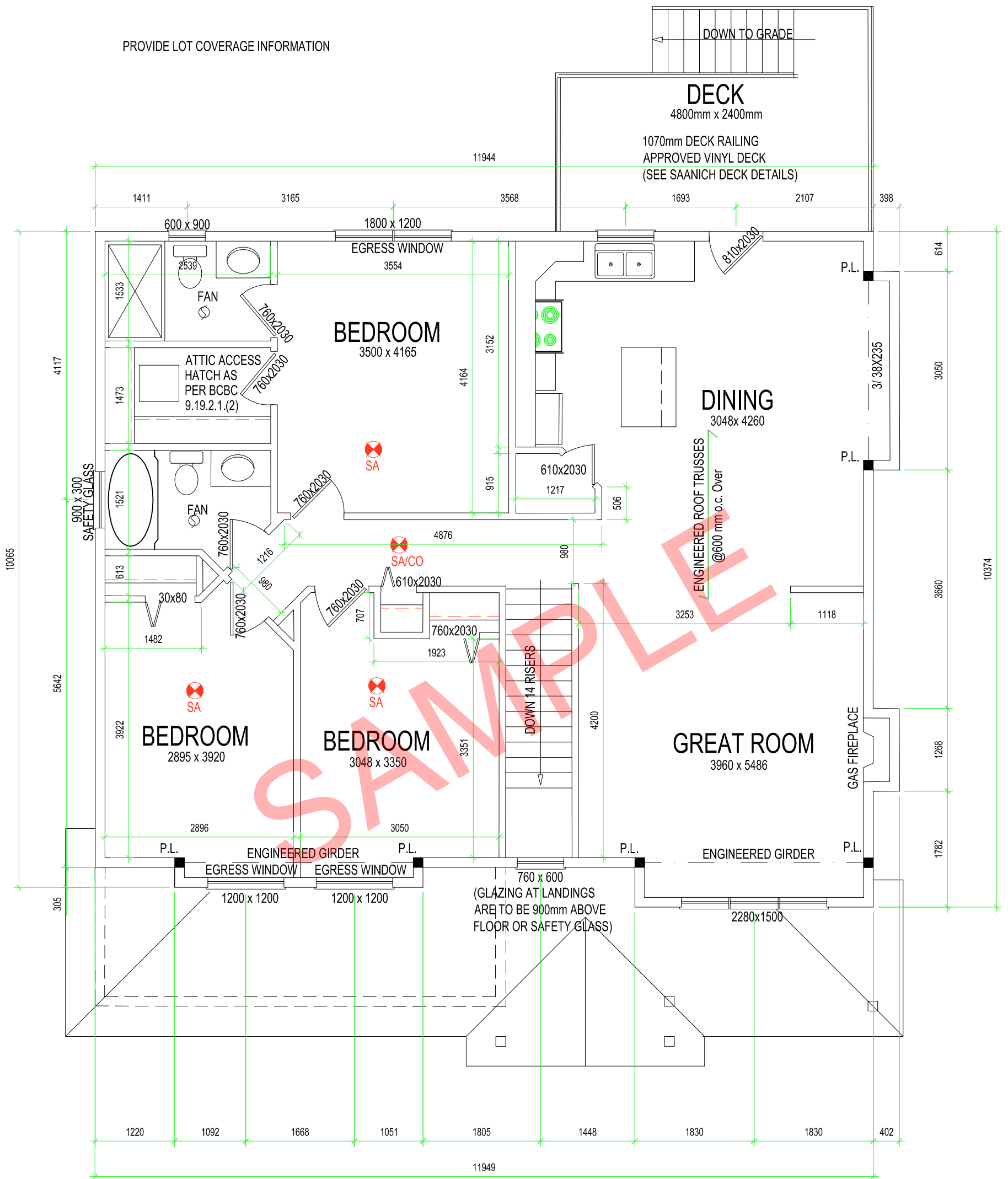


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PROVIDE LOT COVERAGE INFORMATION



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MAIN FLOOR

120 m²

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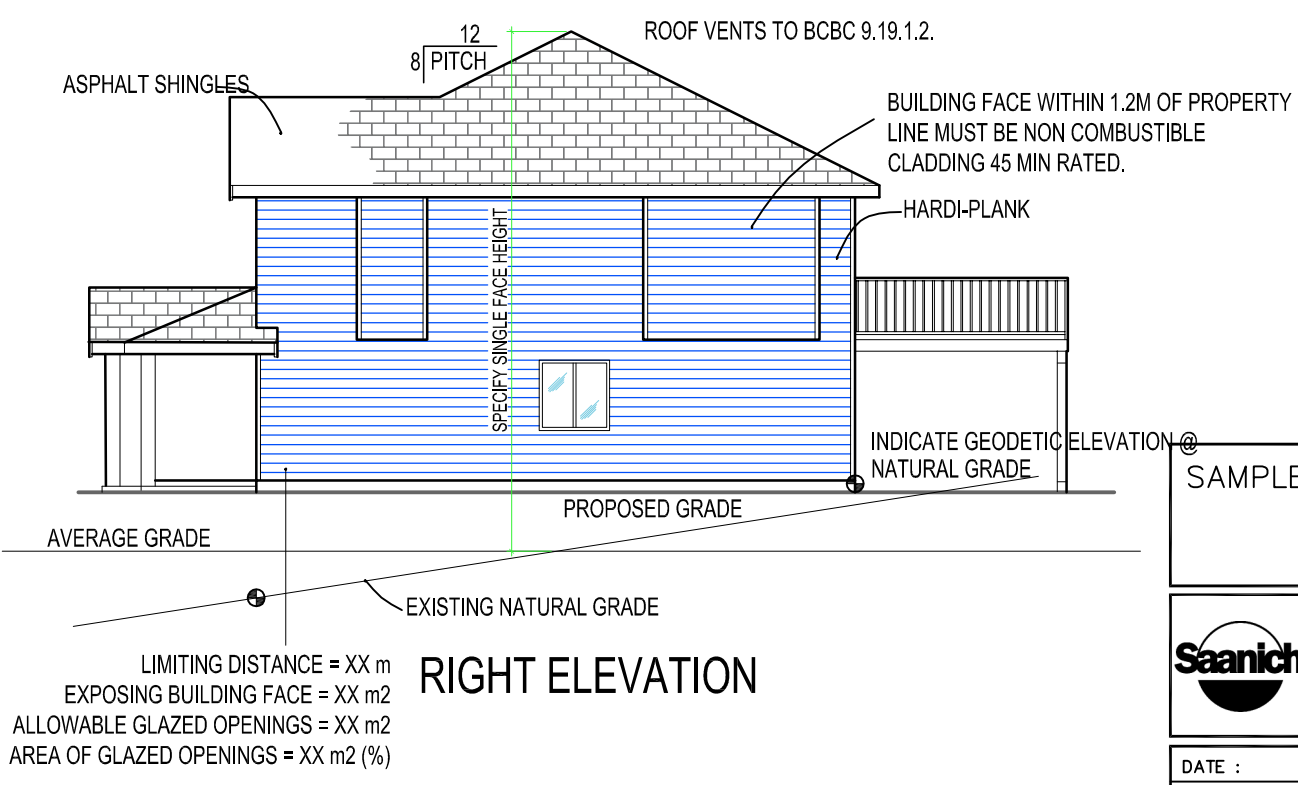
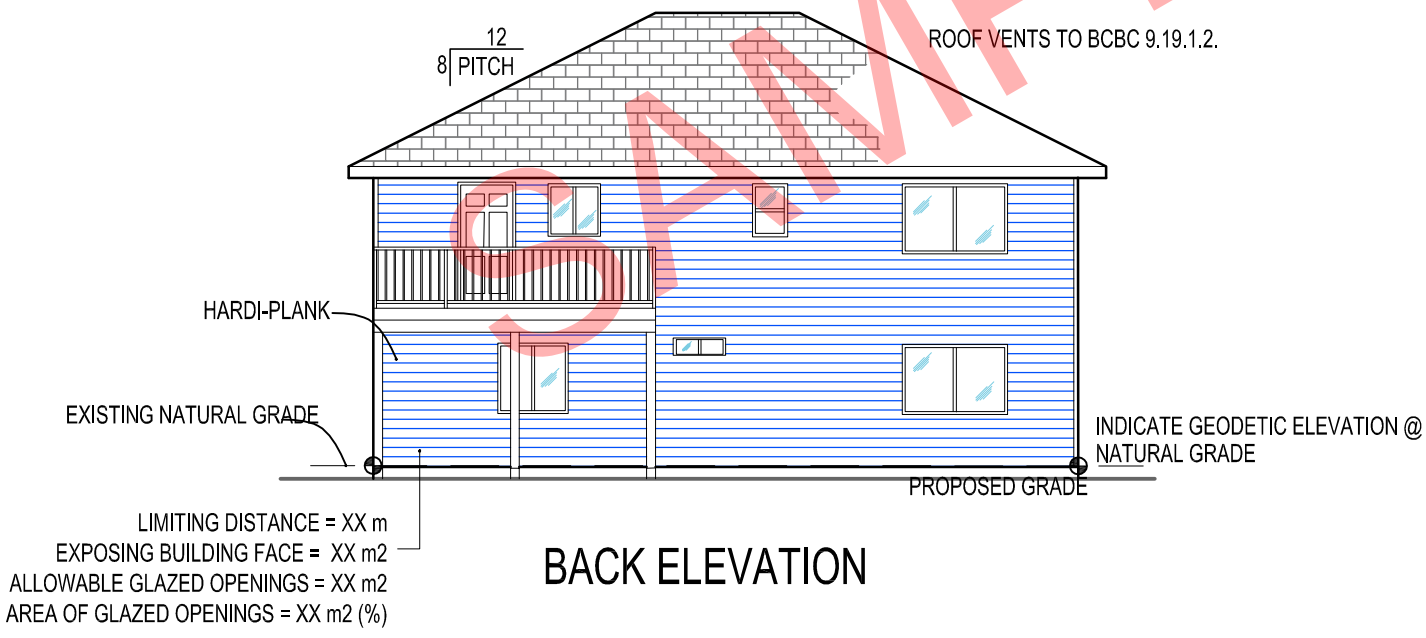
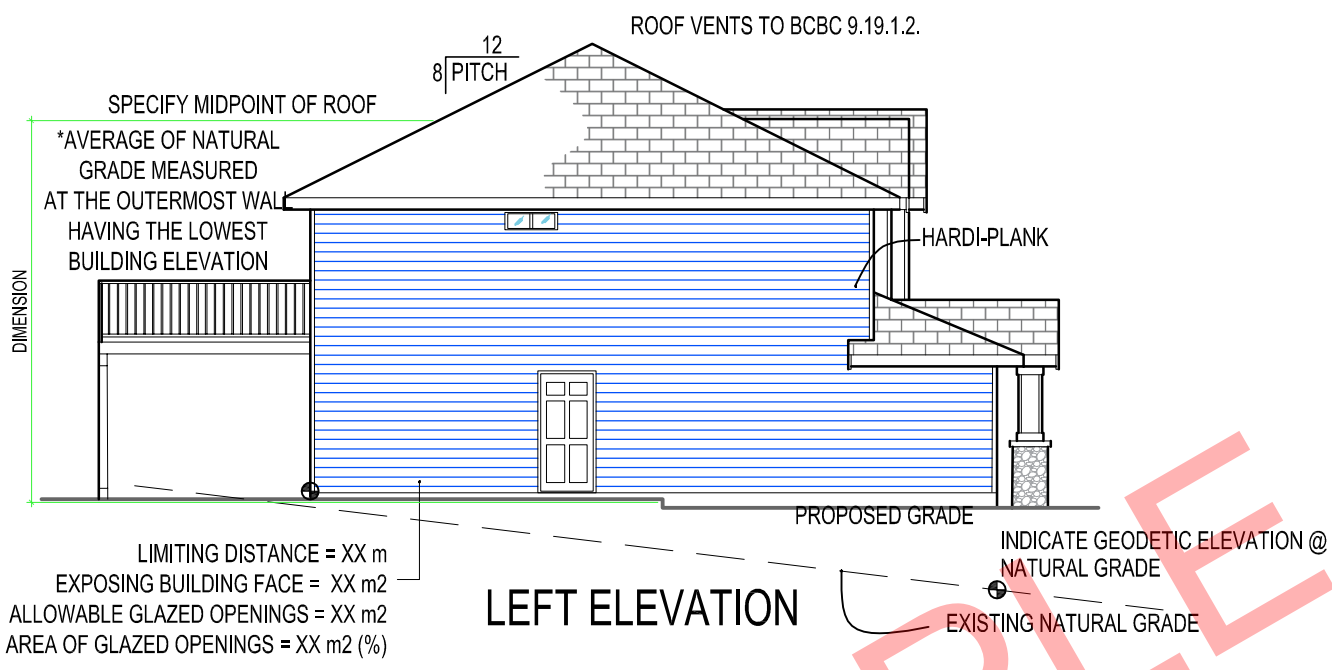
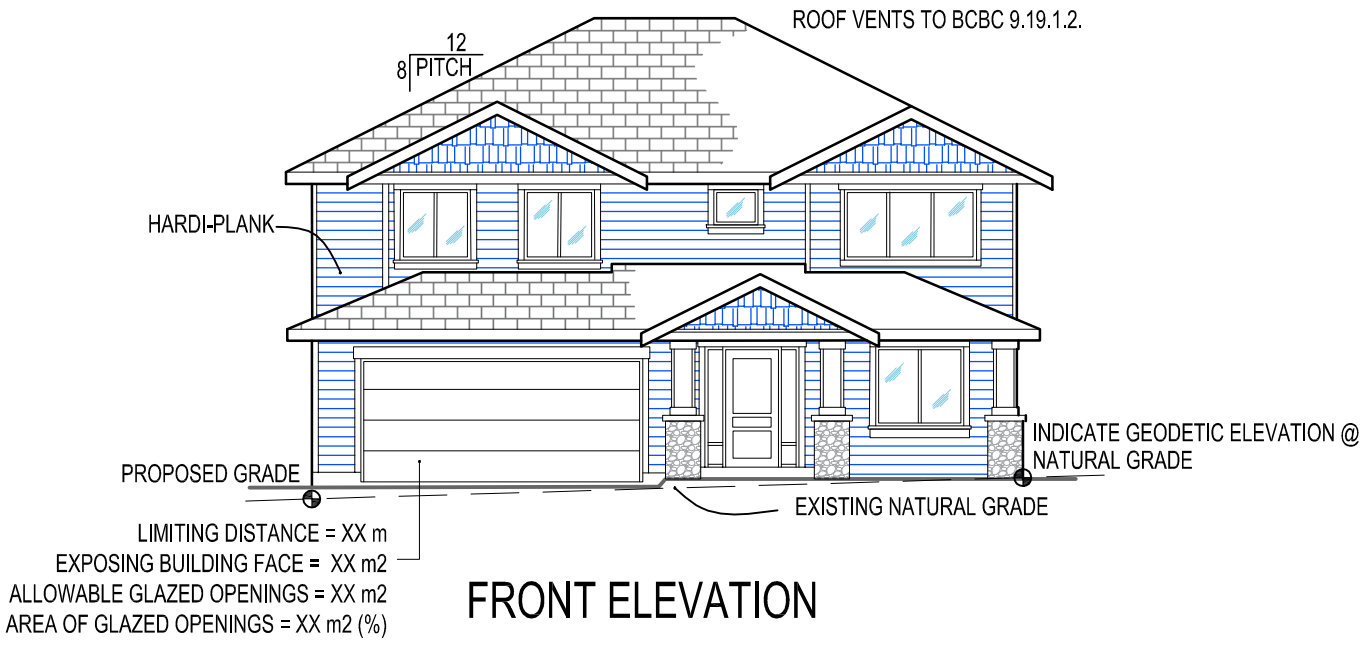


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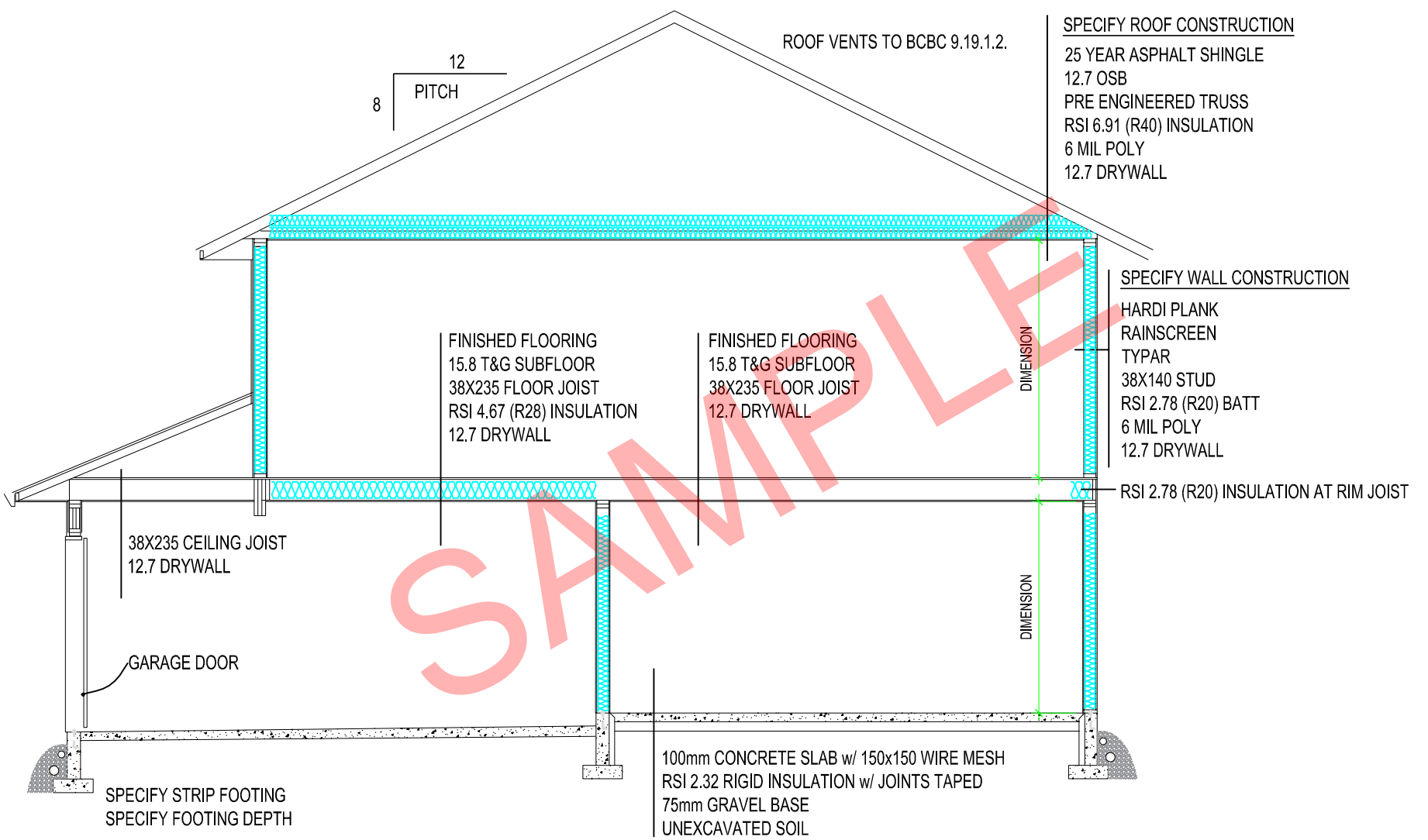
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m. Wiesel
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