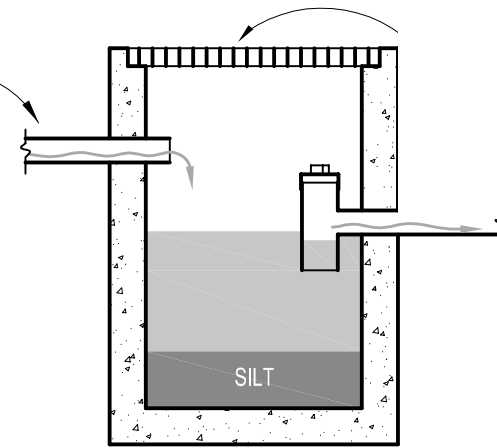
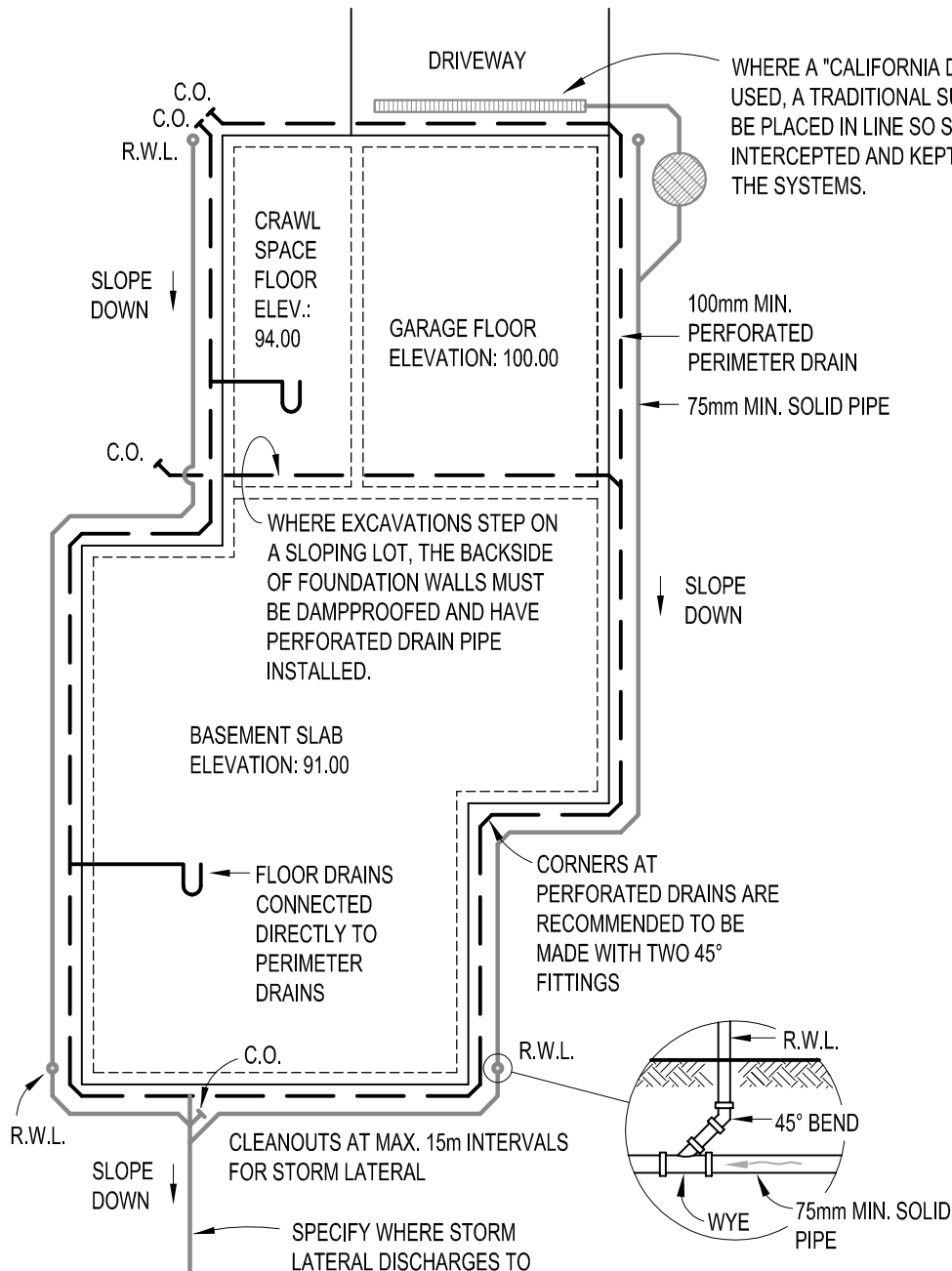
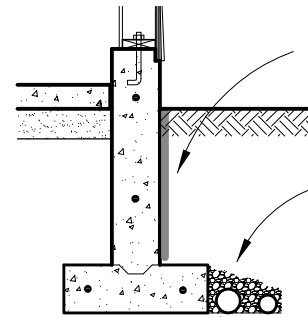


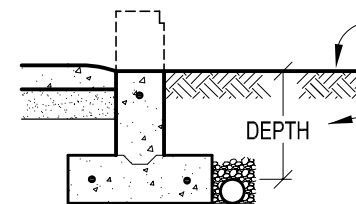
SAMPLE DRAIN TILE AND RAINWATER LAYOUT



SUMP DETAIL



FOOTING DETAIL



DETAIL @ GARAGE

DAMPPROOFING & DRAIN TILE INFORMATION

The information listed below and in the attached illustrations is provided only to assist home owners and building in clarifying some of the B.C. Building Code and Saanich Building Bylaw requirements for foundation dampproofing, drain tile and storm water disposal. In all cases the wording listed in the referenced Code or Bylaw takes precedent.

Where you are unclear as to what is required for drain tile or roof water collection, please contact a Building Inspector. If you are not sure if there is a Municipal storm drain connection at the road fronting your house, contact drafting services staff in our Engineering Department at Saanich. Where you are unclear as to whether or not your property is connected to a municipal system at the road, contact staff from Development Services to arrange for a dye test at a cost of \$175.00. Where you have general questions pertaining to the storm connection listed on a building permit, contact staff from Development Services in the Engineering Department at Saanich. All the referenced staff members can be reached at 250 475 5457. The cost of a new connection to an existing Municipal System is \$3700.00.

Where additions to Single Family Dwellings or new Accessory Buildings are proposed, particular care and planning are required to ensure the storm water can be discharged to a storm lateral that Saanich will approve. This must be labeled on the plans submitted for building permit.

The purpose of dampproofing and drain tile is to limit the probability of ground water from entering a basement or crawlspace or negatively affecting a foundation. Section 9.13 and 9.14 of the Code address this topic. Storm water collected from roofs must be collected in a solid or "tight pipe" system. The perforated drain tile system located at the bottom of the foundation is intended to collect only ground water - not roof storm water.

Please Note:

Saanich Building & Plumbing Bylaw 9529 10.1 states:

- G) if the parcel that is the subject of the building permit application is not intended to be connected to the District's storm water drainage system, the owner must apply for and obtain approval from the District and other applicable public authorities for the alternate storm water drainage and detention system; and

The storm drainage disposal lateral must be connected to one of the three following facilities:

1. A new or existing storm lateral leading to a Municipal and approved storm drain connection;
2. A new or existing storm lateral leading to a Municipal approved and existing sub-standard connection.
3. A new or existing storm lateral leading to a Municipal approved method of on-site disposal designed and installed under the supervision of a Professional Engineer with Letters of Assurance submitted.

The building permit application form requires that the owner and designer conduct investigations prior to applying for a building permit and note on the plans and on the building permit application where storm and ground water is to be discharged - Saanich staff can assist in this investigation. The assessment of storm drainage disposal is a very important step and should be completed prior to application for building permit. If this is not addressed diligently by the building designer, this can lead to a protracted permit issuance process, potential and significant additional costs and potential problems with inspections in the field. It is the owner's responsibility to ensure adequate investigation has been done.

New Municipal connections at the property line will be indicated with green painted stakes or green electrical wire for the storm sewer and red painted stakes or red electrical wire for the sanitary sewer lines. The clean-outs on private property side should have screw caps glued to the risers and colour coded (spray painted) the same. It is extremely important that owners and contractors properly connect to the municipal systems to that no "cross-connection" is created. Please check the as-built drawing provided with your permit for the location and approximate depth of both storm and sanitary connections. Please carefully review conditions placed on the building permit indicating where storm discharge is to be connected. Please also read all associated information on the information bulletin attached to the plans.

