

PROJECT INFORMATION

PROJECT ADDRESS	520 NORMANDY ROAD, SAANICH BC V8E 3J2	
LEGAL DESCRIPTION	LOT 8, SECT 08, 108, LAKE DISTRICT, PLAN 5718, EXCEPT PART OF PLAN 24318W	
APPLICABLE ZONING REGULATIONS	D DISTRICT OF SAANICH	
APPLICABLE BUILDING REGULATIONS	RS-8	
BUILDING CODE	BC9(2018)	
DP AREA	SAANICH GENERAL	
DCP DESIGNATION	ROYAL OAK	
PROJECT DESCRIPTION	NEW 73 UNIT MULTIFAMILY RESIDENTIAL PROJECT	

ZONING ANALYSIS

RS-8 (EXISTING)	RS-8 REFERENCE	PROPOSED
SITE AREA	31 225SF (2910 SQM)	
FRONT YARD SETBACK	19' 7" (6.00M)	14'-0" (4.27M)
REAR YARD SETBACK	24' 6" (7.50M)	37'-8 3/4" (11.50M)
EAST SIDE YARD SETBACK	11' 5" (3.50M)	24' 6" (7.50M)
WEST YARD SETBACK	4' 9" (1.50M)	24' 6" (7.50M)
MAX PRINCIPLE BUILDING HEIGHT	24' 6" (7.50M)	37' 8 1/2" (11.50M)
FLOOR AREA RATIO	0.50 FLOOR GROSS FLOOR AREA (IN % OF 31042 SQFT) WHICHEVER IS GREATER	1.2
LOT COVERAGE	40%	50% (MAXIMUM PARKING)
TOTAL IMPERVIOUS SURFACE AREA	-	80%
OPED SPACE REQUIREMENT	-	18%
BUILDING SEPARATION	-	10'-0" (3.05M)

AVERAGE GRADE

CALCULATION:	182.02	NOTE: GRADE SHOWN WITH BOX ON PLAN. ADD GATES GRADE USED TO CALCULATE AVERAGE GRADE.
	179.1	
	170.1	
	169.20	
	700.54 + 175.13 = AVERAGE GRADE	

RESIDENTIAL USE ANALYSIS

UNIT COUNT	PROPOSED
STUDIO UNITS	24 (2.9%)
1 BEDROOM UNITS	29 (3.7%)
2 BEDROOM UNITS	12 (1.5%)
3 BEDROOM TOWNHOUSE UNITS	8 (1.0%)
TOTAL	73

PARKING

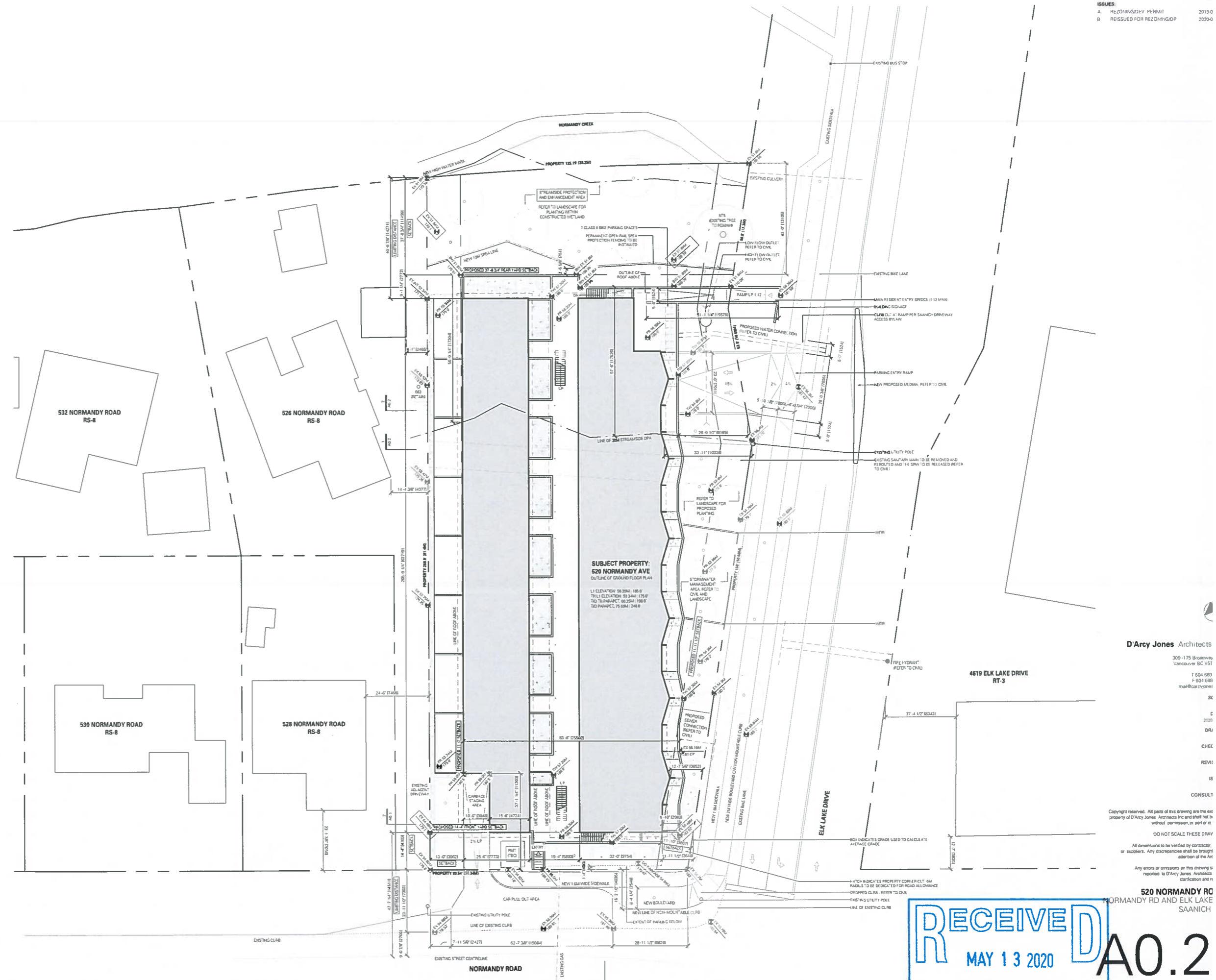
REQUIRED	PROPOSED	
CAV	1.5 DWELLING UNIT / 100.5 STALLS TOTAL (INCLUDING 5 SMALL CAV SPACES)	9.4 DWELLING UNIT / 38 STALLS TOTAL (INCLUDING 5 SMALL CAV SPACES)
DISABLED PARKING	1/1000 SPACES	1/1000 SPACES
VISITOR PARKING	-	4
CARSHARE PARKING	-	1
TOTAL	-	36*
BICYCLE CLASS	1/UNIT (73)	1/UNIT (73)
CLASS II	6 SPACES (RACK OVERHEAD)	7 SPACES (RACK OVERHEAD)

* INDICATES TOTAL REQUIRED VARIANCE



NOTE: GRADE DATA PER SURVEY COMPLETED BY E. ANDERSON & ASSOCIATES APRIL 2019

SITE PLAN
SCALE: 1/200



D'Arcy Jones Architects
 309-175 Broadway
 Vancouver BC V6T
 T: 604 689
 F: 604 689
 mail@carrynet.com

SC
 C
 2020
 DRU
 CHECK
 REVH
 IS
 CONSULT

Copyright reserved. All parts of this drawing are the property of D'Arcy Jones Architects Inc and shall not be without permission, in part or in whole.
 DO NOT SCALE THESE DRAWINGS.
 All dimensions to be verified by contractor or surveyor. Any discrepancies shall be brought to attention of the Architect.
 Any errors or omissions on this drawing is reported to D'Arcy Jones Architects Inc and shall not be without permission, in part or in whole.

520 NORMANDY RD AND ELK LAKE DRIVE
 SAANICH

RECEIVED
 MAY 13 2020
 PLANNING DEPT.
 DISTRICT OF SAANICH

A0.2
 PROPOSED SITE PLAN