

2870-30 Del Monte

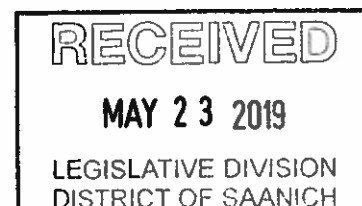


The Corporation of the District of Saanich

c/w 10 Jun

Report

To: Mayor and Council
From: Sharon Hvozanski, Director of Planning
Date: May 23, 2019
Subject: Rezoning and Subdivision Application
File: REZ00610; SUB00814 • 5147 Del Monte Avenue



RECOMMENDATION

1. That the application to rezone from the A-1 (Rural) Zone to the RS-12 (Single Family Dwelling) Zone be approved.
2. That prior to Final Reading of the Zoning Amendment Bylaw the applicant provide a suitable cost estimate and performance surety for construction of black vinyl coated chain link fencing to be installed along the boundary of the proposed park dedication prior to Final Approval of the subdivision.
3. That Final Reading of the Zoning Amendment Bylaw be withheld pending registration of a suitable covenant to secure the following:
 - To require that any new dwellings on the proposed lots not exceed 435 m² gross floor area; and
 - To prohibit subdivision of the parcel without dedication of the 1796 m² proposed park and to prohibit tree or vegetation removal in the proposed park area without the approval of Saanich Parks.
4. That the following items be referred to the Approving Officer for consideration as part of the subdivision review process:
 - Suitable covenants to require that buildings be built and the site be developed in accordance with the recommendations of the Geotechnical Engineer Report and Consulting Arborist;
 - Suitable covenants for tree retention and protection including provision of replacement trees; and
 - Suitable covenants to require that siting of dwellings and driveway locations conform to plans presented by the applicant.

PURPOSE

The purpose of this report is to seek direction from Council on the subject application. The application is to rezone the parcel at 5147 Del Monte Avenue from the A-1 (Rural) Zone to the RS-12 (Single Family Dwelling) Zone to accommodate a subdivision to create three additional lots (four lots in total) for single family dwelling use and a ±1796 m² parcel to be dedicated for park. The applicant is McElhanney Consulting Services (Dave Smith).

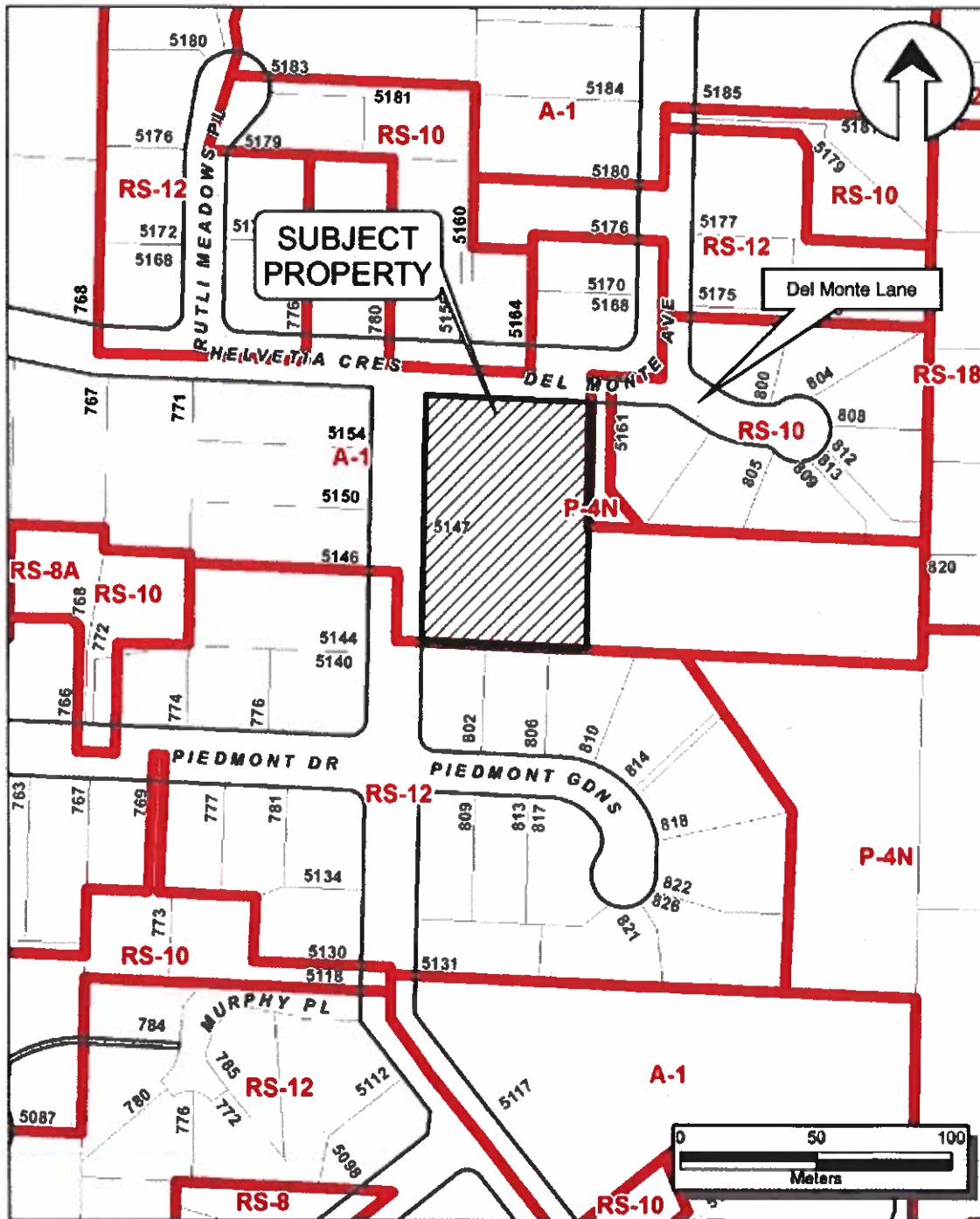


Figure 1: Neighbourhood Context

DISCUSSION

Background

In October, 2012, Council rejected a similar proposal based on neighbourhood concerns related to the number of proposed lots, neighbourhood character, road/pedestrian safety issues. At that time, it was suggested that a subdivision to create a total of three lots may be more acceptable.

Neighbourhood Context

The 0.55 ha site, located southeast of the Del Monte Avenue and Helvetia Crescent intersection, is one of the few remaining, larger, un-subdivided parcels in the neighbourhood. Surrounding land use is a mixture of RS-10, RS-12, and A-1 zoned single family residential lots.

A small, 433 m² parcel of parkland (P-4N) adjoins the northerly half of the eastern edge of the site. The southeasterly edge of the site adjoins a large A-1 zoned parcel that has panhandle access leading to Del Monte Lane.

The westerly portion of the site is gently sloping while the easterly portion contains steep to moderate slopes associated with the north-south ravine that begins at Del Monte Avenue. Slope grades within the ravine range between 25% - 50%. Revans Creek and an adjoining unimproved footpath follow the bottom of the ravine, crossing the north easterly corner of the site. The property is within the Streamside Development Permit Area. A Streamside Development Permit issued by the Manager of Environmental Services will be required.

Land Use

The proposed rezoning would accommodate a subdivision to create three additional lots (four lots in total) for single family dwelling use. Proposed lots would be ± 930 m² and would comply with the minimum, average and maximum lot sizes specified in Cordova Bay Local Area Plan Policy 7.3. Proposed lot configurations comply with the requested RS-12 zoning and Subdivision Bylaw regulations. The existing house on the property would be removed. Thirty-two percent of the site (± 1796 m²) would be dedicated as parkland to be added to the existing Doumac Park.

Site and Building Design

While the proposed lots would meet or exceed the minimum lot area requirement of 930 m² for the RS-12 zone, the applicant is prepared to commit to a reduction in the size of the houses on each lot to that of the RS-10 Zone which limits house size to a maximum of 435 m² compared with 667 m² for the RS-12 zone. The smaller house sizes would result in more open space and more opportunity to protect trees and other vegetation on the site. While specific house designs have not been submitted, the applicant has provided elevations to indicate what each house might look like. The applicant has stated that the houses would have high quality design and exterior finishes similar to other recently constructed homes in the neighbourhood but it should be noted that this is not the same as a design principle in a registered building scheme. Each of the homes would be permitted to have a secondary suite.

Access to proposed Lots 1 and 2 would be from the northerly leg of Del Monte Avenue while proposed Lots 3 and 4 would be accessed from the west. In order to limit the number of individual driveway accesses along this dog leg section of Del Monte Avenue to address neighbourhood safety concerns, the applicant is willing to limit access to two shared driveways.

In addition to dedicating the heavily forested ravine slope area of the site for a natural park, a Tree Protection Covenant is also proposed to protect existing trees along the boundary with the proposed park.

New single family dwellings constructed after June 1, 2019 are required to achieve Step 1 of the BC Energy Step Code. Commitments regarding house size, tree protection and shared driveways would be secured by covenant.

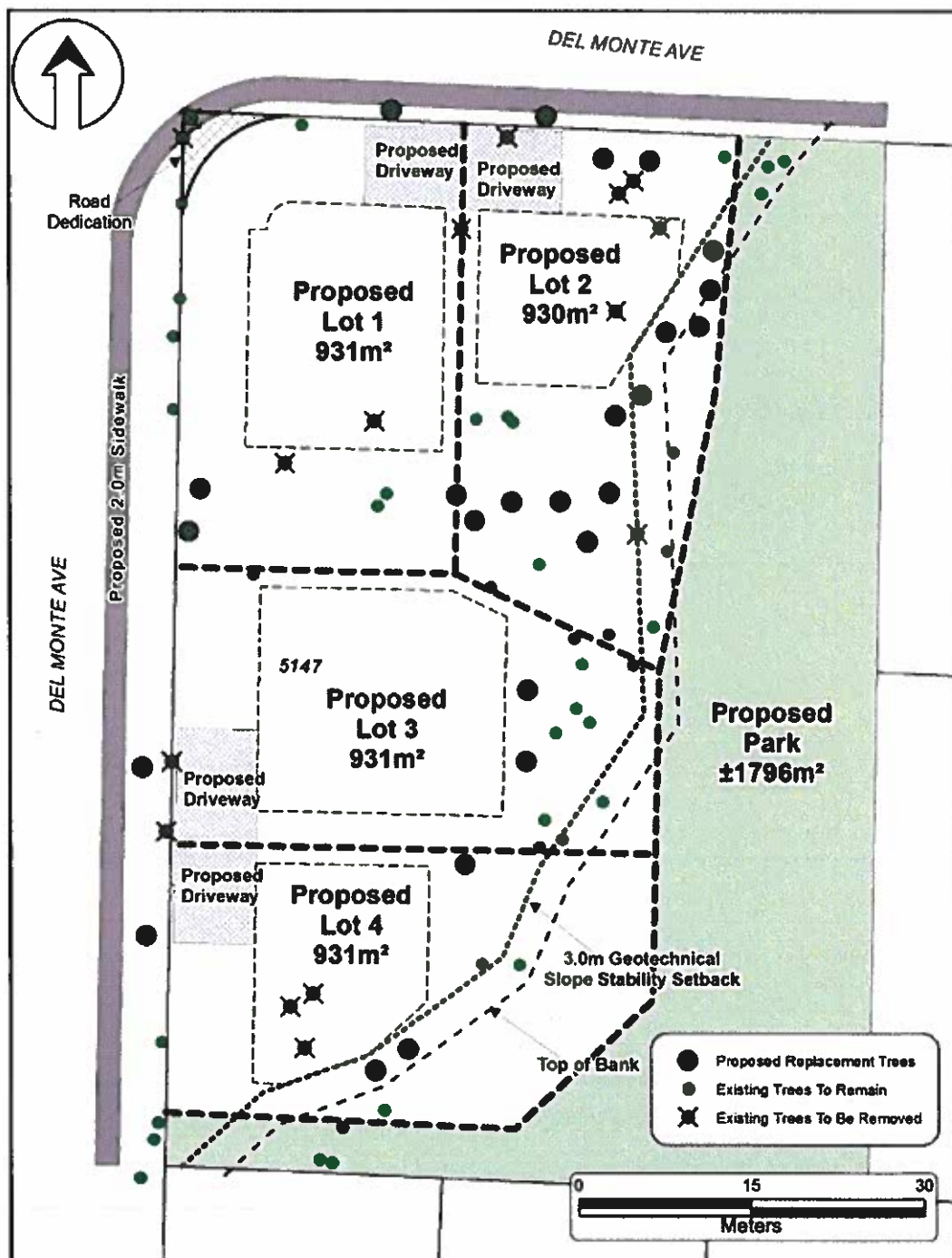


Figure 2: Proposed Subdivision



Figure 3: Proposed House Elevations (from plans by Victoria Design Group)

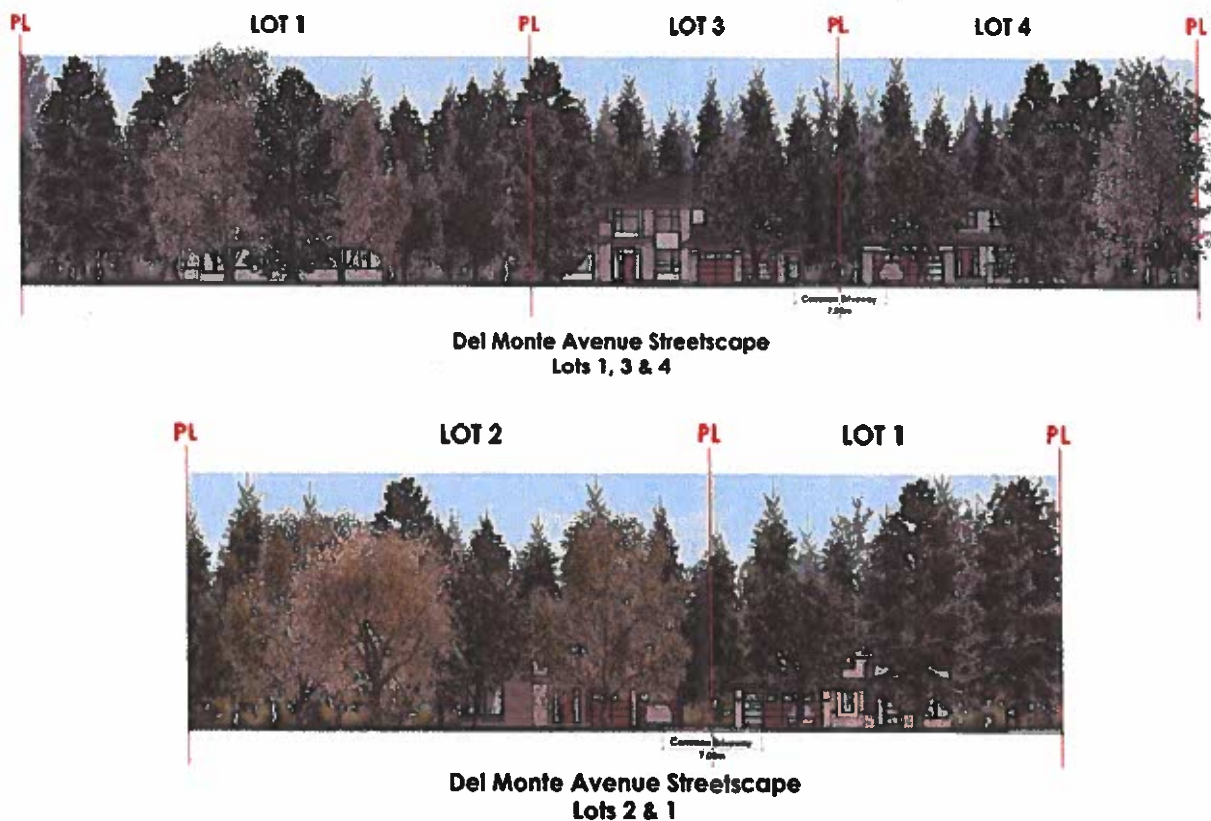


Figure 4: Proposed Streetscape (from plans by Victoria Design Group)

Park Dedication and Pedestrian Access

In accordance with Cordova Bay Local Area Plan policies 10.4 and 11.5, the applicant proposes to dedicate the easterly ravine slope area comprising 32% ($\pm 1796 \text{ m}^2$) of the property as parkland; thus protecting the most significant vegetation and environmental features associated with Revans Creek Streamside Development Permit Area. Proposed park dedication would also extend westerly to Del Monte Avenue at the south side of the site to provide an opportunity for additional future trail development from Del Monte Avenue to Doumac Park. Saanich Parks recommends that black vinyl coated chain link fence be installed along the boundary of the proposed park to delineate the parkland and avoid potential encroachment by any future property owner.

Section 510 of the “Local Government Act”, provides that local government may require dedication of not more than 5% of the land being subdivided for park. Should Council decide to approve the rezoning, it is recommended that a covenant be registered prior to adoption of the bylaw, to bind any future owner(s) to provide the 32% park dedication as proposed.

Geotechnical Considerations

Geotechnical reports and an accompanying Landslide Assessment Assurance Statement have been prepared by C.N. Ryzuk & Associates for the proposed subdivision. Based on the Geotechnical Engineer’s review, building setbacks have been recommended to restrict future buildings to that area lying west of the Building Setback line shown on Figure 1. The reports make further recommendations with respect to how the site is to be developed and affirms that the land may be safely used for residential use, provided that report recommendations are followed in the course of development. Suitable covenants based on the report

recommendations would be considered by the Approving Officer during the subdivision review process.

Consultation

The applicant has stated that a presentation was made to the Cordova Bay Association for Community Affairs (CBACA) and a public information meeting was held to inform neighbours about the proposed development.

A subdivision referral requesting comment about the proposal was sent by the Planning Department to the CBACA and a response was received indicating no objection to the project. In particular, CBACA supports the construction of sidewalks on Del Monte Avenue, fronting the property, and the donation of park land.

ALTERNATIVES

1. That Council approve the recommendation as outlined in the staff report (Staff Recommend).

The implications of this alternative are discussed in detail in the later sections of this report.

2. That Council reject the recommendations as outlined in the staff report.

Should Council decide to reject the recommendations contained in this report, the implications are that the proposed rezoning and subdivision would not proceed. The subject property would retain its current A-1 zoning and the one existing single family dwelling would remain on the lot.

3. That Council provide alternate direction to Staff.

Should Council provide alternate direction to staff, such as redesign of the subdivision layout for example, the implications are that staff would work with the applicant to address comments from Council. The applicant would have his consultants undertake any necessary revisions to the plans, and would resubmit the proposal, for review by staff and ultimately by Council. This alternative would result in a delay in Council's decision regarding the rezoning application.

FINANCIAL IMPLICATIONS

The proposal has no immediate implications related to the District of Saanich Financial Plan.

STRATEGIC PLAN IMPLICATIONS

The proposal has no implications related to the District of Saanich 2015 - 2018 Strategic Plan.

PLANNING IMPLICATIONS

Policy

The following Saanich Planning Policies are most applicable to the subject proposal:

Official Community Plan (2008)

- 4.2.1.1 “Support and implement the eight strategic initiatives of the Regional Growth Strategy, namely: Keep urban settlement compact; Protect the integrity of rural communities; Protect regional green and blue space; Manage natural resources and the environment sustainably; Build complete communities; Improve housing affordability; Increase transportation choice; and Strengthen the regional economy.”
- 4.2.1.2 “Maintain the Urban Containment Boundary as the principal tool for growth management in Saanich, and encourage all new development to locate within the Urban Containment Boundary.”
- 4.2.4.3 “Support the following building types and land uses in Neighbourhoods:
- Single family dwellings;
 - Duplexes, tri-plexes, and four-plexes;
 - Townhouses;
 - Low-rise residential (up to four storeys); and
 - Mixed-use (commercial/residential) (up to four storeys).”
- 4.2.1.14 “Encourage the use of ‘green technologies’ in the design of all new buildings.”

Cordova Bay Local Area Plan (1998)

The property is designated “Residential II” on Map 7.1 of the Cordova Bay Local Area Plan. The Local Area Plan policies applicable to this proposal are as follows:

- 5.1 “Encourage protection of indigenous vegetation, wildlife habitats, urban forest landscapes and sensitive marine environments within Cordova Bay when considering applications for change in land use”;
- 7.3 “Allow a minimum lot area of 665 m² for a conventional lot, and 930 m² for a standard lot within the area designated ‘Residential II’ on Map 7.1 provided that the average lot area within the land being subdivided is not less than 930 m² and that no lot is created which has an area in excess of 1500 m². Where a parcel is greater than 1860 m² and where road dedication would reduce the net area to less than 1860 m², the parcel area prior to dedication may be used for lot averaging purposes.”;
- 10.4 “Complete the trail to Doumac Park from Del Monte Avenue and Cambria Wood Court by acquiring parkland and/or public rights-of-way or voluntary park dedication at the time of subdivision.”; and
- 11.5 “Acquire rights-of-way for footpaths, sidewalks, bikeways and greenways, particularly at the time of subdivision, and require construction by the developer where applicable, to ensure convenient access to schools, bus stops, shopping, parks and to provide circular pedestrian recreational routes as indicated on Map 11.2.”

Policy Analysis

The proposal is consistent with the Official Community Plan which contemplates limited infill in neighbourhoods inside the Urban Containment Boundary. The proposed lots with areas of ±930 m² would comply with Cordova Bay Local Area Plan, policy 7.3, which requires a minimum lot area of 665 m² and an average lot area of 930 m². Thirty-two percent of the site would be dedicated for a natural park in accordance with Cordova Bay Local Area Plan policies 10.4 and 11.5.

The Official Community Plan also notes the importance of neighbourhood character and the role of building style, exterior finish, massing, and height have on the effective integration of new housing stock. The applicant has submitted conceptual building elevations for the proposed dwellings to be constructed on the lots, but without house plans or a building scheme secured by covenant there is no way to ensure that this would occur. In addition, the applicant is also prepared to commit that the proposed dwellings would be limited in size to a maximum 435 m² gross floor area. This commitment would be secured by covenant.

While the Official Community Plan contemplates limited infill development in neighbourhoods, it is noted that this development is not located near a "Centre" or "Village" or along a major corridor with good access to frequent transit. Public transit service to Cordova Bay ridge is limited, however, infill housing as proposed would provide a much desired housing form within Saanich that people would otherwise have to commute further distances for elsewhere in the region.

Servicing

Existing sewer and water connections to proposed Lot 3 will require upgrading. Subsequent sewer and water connections will be required for proposed Lots 1, 2 and 4. In addition, stormwater management must be provided in accordance with the requirements of Schedule H "Engineering Specifications" of the Subdivision Bylaw. The subdivision is within a Type II watershed area which requires storm water storage, oil/grit separator or grass swale and sediment basin. Subsequent drain connections will be required for the proposed lots from the existing mains on Del Monte Avenue. No stormwater is to be directed over the crest of the ravine.

A 10.0 m radius corner cut is required for road allowance at the northwest corner of proposed Lot 1. Del Monte Avenue, fronting the subdivision, must be widened to 8.5 m municipal residential road standards complete with non-mountable concrete curb, gutter and 2.0 m wide sidewalk. The existing brush in the northwest corner of proposed Lot 1 must be removed to improve sight line for the proposed driveway to be shared by proposed Lots 1 and 2. Street lighting is required on Del Monte Avenue fronting proposed Lot 2.

Through community input as part of the on-going process to update the Cordova Bay Local Area Plan, design principles were recently developed for residential streets on Cordova Bay Ridge. These principles include maintaining existing road widths, no curbs where none exist now, separated concrete sidewalks, treed boulevards, and street lighting strategically located to promote pedestrian safety at crossings, curves and intersections.

An Arborist Report prepared for the previous development proposal for the site concluded that the major impact to the trees along Del Monte Avenue would result from separated sidewalk construction and road widening. To improve neighbourhood safety while mitigating potential tree impacts the Development Servicing Requirements for the current proposal require road widening to 8.5 m, a 2.0 m, monolithic sidewalk, and street lighting on Del Monte Avenue fronting the development. These improvements will permit retention of most of the existing boulevard trees and allow sufficient room to plant four Schedule I trees behind the sidewalk. This approach is supported by Saanich Parks.

Environment

Trees on the property and municipal frontage include a stand of second-growth mature, conifer-dominated forest comprising mostly Red cedar, Bigleaf maple, Grand fir, Douglas-fir, and Red alder trees. A Tree Inventory and Management Plan, prepared for the site by Gye and

Associates Consulting Arborists, identified a total of 56 trees of which 45 are protected trees located within the site, adjacent boulevard, and edge of the proposed park dedication. The inventory did not include a complete listing of all of the trees within the proposed park.

A total of 15 protected trees (13 on the site and 2 on the boulevard) would be removed to accommodate the proposed subdivision. Twenty-one replacement trees would be planted on the site. In addition, four Schedule I trees would be planted on the boulevard. Covenant protection is proposed for the trees located between the building envelopes on proposed Lots 1, 3 and 4 and the proposed park boundary.

Saanich Parks has reviewed the tree report and is satisfied that its recommendations and Saanich's Tree Bylaw requirements have been met. In addition, Parks agrees with the proposed park dedication as a logical extension to Doumac Park. Before accepting the park dedication, the applicant will be required to remove non-native invasive species and a children's "play house" structure from the area. In addition, trees that are in the proposed park, close to the current rough trail, must be assessed for defects and pruned/modified as necessary to reduce any risks to park users from falling limbs. As previously noted, Saanich Parks Division recommends that black vinyl coated chain link fence be installed along the boundary of the proposed park to delineate the parkland and avoid potential encroachment by any future property owner.

CLIMATE CHANGE AND SUSTAINABILITY

The Official Community Plan adopted in 2008 highlights the importance of climate change and sustainability. The Official Community Plan is broadly broken down into the pillars of sustainability including environmental integrity, social well-being and economic vibrancy. Climate change is addressed under the environmental integrity section of the Official Community Plan and through Saanich's Climate Action Plan.

The following is a summary of the Climate Change and Sustainability features and issues related to the proposed development. This section is not and cannot be an exhaustive list or examination of the issue. However, this section is meant to highlight key issues for council and keep the matter at the forefront of council's discussion.

Climate Change

This section includes the specific features of a proposal related to mitigation and adaptation strategies. Considerations include: 1) Project location and site resilience; 2) Energy and the built environment; 3) Sustainable transportation; 4) Food security; and 5) Waste diversion.

The proposed development includes the following features related to mitigation and adaptation:

- The proposal is an infill project located within the Urban Containment Boundary and Sewer Service Area, that is able to use existing roads and infrastructure to service the development;
- Limited infill through the development of new single-family housing inside the Urban Containment Boundary provides a much-desired housing form within Saanich that people would otherwise have to commute further distances for elsewhere in the region. The number of lots so created are limited in number, acknowledge longstanding policies of the Official Community Plan and Local Area Plan, and will not result in significant long-term negative impacts, as long as the majority of future growth is focussed in "Centres", "Villages", and along key corridors;

- Proximity to public transit is limited – a transit stop for Bus #35 is approximately 680 m away near the intersection of Del Monte Avenue and Claremont Avenue, with an average frequency of 36 minutes during weekdays; and
- New single family dwellings constructed after June 1, 2019 will be required to achieve Step 1 of the BC Energy Step Code.

Sustainability

Environmental Integrity

This section includes the specific features of a proposal and how it impacts the natural environment. Considerations include: 1) Land disturbance; 2) Nature conservation; and 3) Protecting water resources.

The proposed development includes the following features related to the natural environment:

- The proposal is an infill development in an already urbanized area without putting pressures onto rural areas; and
- A total of 56 trees, of which 45 are protected trees, were identified within the site, adjacent boulevard, and edge of the proposed park dedication. The inventory did not include a complete listing of all of the trees within the proposed park. A total of 15 protected trees (13 on the site and 2 on the boulevard) would be removed to accommodate the proposed subdivision. Twenty-one replacement trees would be planted on the site. In addition, four Schedule I trees would be planted on the boulevard. Covenant protection is proposed for the trees located between the building envelopes on proposed Lots 1, 3 and 4 and the proposed park boundary.

Social Well-being

This section includes the specific features of a proposal and how it impacts the social well-being of our community. Considerations include: 1) Housing diversity; 2) Human-scale pedestrian oriented developments; and 3) Community features.

The proposed development includes the following features related to social well-being:

- While the proposed lots would meet or exceed the minimum lot area requirement of 930 m² for the RS-12 zone, the applicant is prepared to commit to a reduction in the size of the houses on each lot to that of the RS-10 Zone which limits house size to a maximum of 435 m² compared with 667 m² for the RS-12 zone. This commitment would be secured by covenant.
- Secondary suites are permitted in this development. This housing option provides for alternative forms of rental accommodation and supportive housing for immediate family members. Suites also work to make a home purchase by young couples/families, and home retention by aging seniors, relatively more affordable; and
- The applicant proposes to dedicate the easterly ravine slope area comprising 32% (±1796 m²) of the property as parkland; thus protecting the most significant vegetation and environmental features associated with Revans Creek Streamside Development Permit Area.

Economic Vibrancy

This section includes the specific features of a proposal and how it impacts the economic vibrancy of our community. Considerations include: 1) Employment; 2) Building local economy; and 3) Long-term resiliency.

The proposed development includes the following features related to economic vibrancy:

- The development would create local short-term jobs during the construction period;
- Home based businesses would be permissible in this development; and
- The development would site additional residential units within the commercial catchment/employment area for the businesses and services located within the Royal Oak Major "Centre", the Broadmead Village "Centre", and the Cordova Bay Village "Centre".

CONCLUSION

The proposal is consistent with the Official Community Plan which contemplates limited infill in neighbourhoods inside the Urban Containment Boundary. The proposed lots would comply with Cordova Bay Local Area Plan policy 7.3 which requires a minimum lot area of 665 m² and an average lot area of 930 m². Thirty-two percent of the site would be dedicated for a natural park.

The applicant has submitted conceptual building elevations for the proposed dwellings to be constructed on the lots and is prepared to commit that the proposed dwellings would be limited in size to a maximum 435 m² gross floor area. The houses as proposed would not be out of character with other new houses in the neighbourhood.

A total of 15 protected trees would be removed to accommodate the proposed subdivision. Twenty-one replacement trees would be planted on the site. In addition, four Schedule I trees would be planted on the boulevard. Covenant protection is proposed for the trees located between the building envelopes on proposed Lots 1, 3 and 4 and the proposed park boundary.

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Before accepting the park dedication, the applicant will be required to remove non-native invasive species and a children's "play house" structure from the area. In addition, trees that are in the proposed park, close to the current rough trail, must be assessed for defects and pruned/modified as necessary to reduce any risks to park users from falling limbs. Saanich Parks recommends that black vinyl coated chain link fence be installed along the boundary of the proposed park to delineate the parkland and avoid potential encroachment by any future property owner.


If Council supports the application, Final Reading of the Zoning Amendment Bylaw should be withheld pending registration of suitable covenants to secure the following:

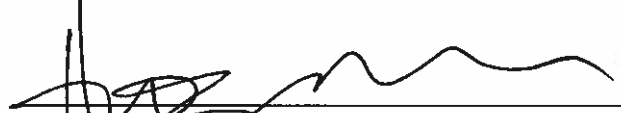
- To require that any new dwellings on the proposed lots not exceed 435 m² gross floor area; and
- To prohibit subdivision of the parcel without dedication of the 1796 m² proposed park and to prohibit tree or vegetation removal in the proposed park area without the approval of Saanich Parks.

The following items would be referred to the Approving Officer for consideration as part of the subdivision review process:

- Suitable covenants to require that buildings be built and the site be developed in accordance with the recommendations of the Geotechnical Engineer Report and Consulting Arborist;
- Suitable covenants for tree retention and protection including provision of replacement trees; and
- Suitable covenants to require that siting of dwellings and driveway locations conform to plans presented by the applicant.

Prepared by: 
Neil Findlow
Senior Planner

Reviewed by: 
Shari Holmes-Saltzman
Manager of Current Planning

Approved by: 
Sharon Hvozdański
Director of Planning

NDF/jsp

Attachments

ADMINISTRATOR'S COMMENTS:

I endorse the recommendation from the Director of Planning.


Paul Thorkelsson, Administrator