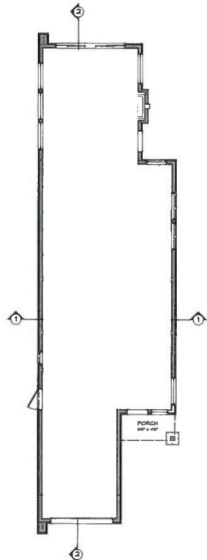


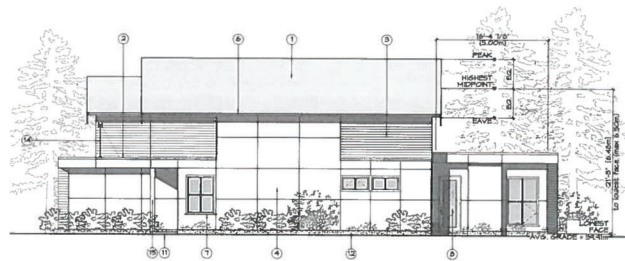
Front (N) Elevation - Lot A
Scale: 1:100



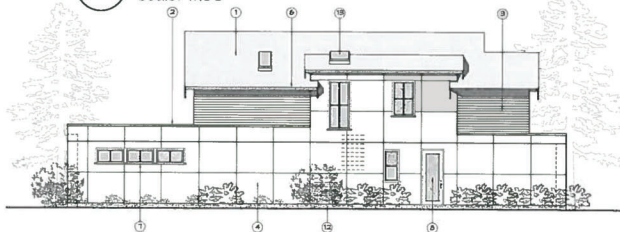
Rear (S) Elevation - Lot A
Scale: 1:100



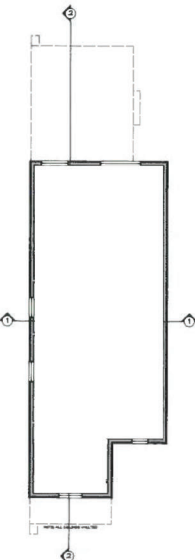
Main Floor Plan - Lot A
Scale: 1:100



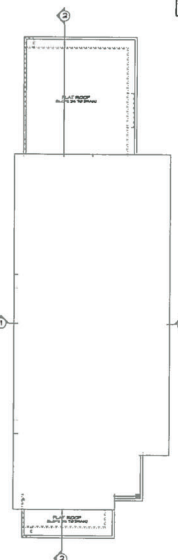
Side (W) Elevation - Lot A
Scale: 1:100



Side (E) Elevation - Lot A
Scale: 1:100



Upper Floor Plan - Lot A
Scale: 1:100



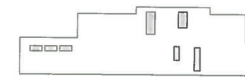
Roof Plan - Lot A
Scale: 1:100



MAXIMUM GLAZING CALCULATION - SIDE ELEVATION (WEST)	
DISTANCE TO PROPERTY LINE	9.00 M (9.84')
EXPOSED BUILDING FACE AREA	102.34 M ² (1101.60 SF)
GLAZING AREA	6.40 M ² (68.91 SF)
PERCENTAGE	6.25% (ALLOWED 10.00%)



MAXIMUM GLAZING CALCULATION - REAR ELEVATION (SOUTH)	
DISTANCE TO PROPERTY LINE	12.80 M (41.97')
EXPOSED BUILDING FACE AREA	39.64 M ² (426.75 SF)
GLAZING AREA	11.98 M ² (129.03 SF)
PERCENTAGE	30.22% (ALLOWED 100%)



MAXIMUM GLAZING CALCULATION - SIDE ELEVATION (EAST)	
DISTANCE TO PROPERTY LINE	1.50 M (4.92')
EXPOSED BUILDING FACE AREA	106.96 M ² (1144.94 SF)
GLAZING AREA	6.02 M ² (64.56 SF)
PERCENTAGE	5.66% (ALLOWED 1.00%)

FINISH SCHEDULE KEY	
1	ASPHALT/FIBERGLASS SHINGLE ROOFING
2	SBS-MEMBRANE ROOFING
3	HORIZONTAL SIDING
4	CEMENT BOARD PANELS C/ C-CHANNEL REVEAL
5	2X10 FASCIA (PAINTED) C/M ACCENT TRIM (PAINTED)
6	PREFIN. METAL GUTTER ON 2X6 FASCIA (PAINTED)
7	2X2 WOOD WINDOW/DOOR TRIM (PAINTED)
8	WOOD SLAB DOOR IV GLAZING, PREFINISHED
9	GARAGE DOOR IV GLAZING, METAL, PREFINISHED
10	GLAZED SLIDING DOOR, PREFINISHED
11	CONCRETE PATIO
12	EXPOSED CONCRETE (MIN 8" ABOVE GRADE)
13	SKYLIGHT
14	PREFINISHED/ENG. CABLE ANCHOR
15	WOOD POSTS (PAINTED)

ISSUED FOR
SUBDIVISION 4 DVP
AUGUST 25, 2021



1161 NEWPORT AVE
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Phone: (250) 360-2144
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Drawn By: K. K & C. C
Date: AUG 25, 2021

Scale: AS NOTED

Project:
1705 GARNET RD
- PROPOSED
SUBDIVISION

Title:
LOT A
FLOOR PLANS &
ELEVATIONS

Revision: Sheet:
A
201
Proj.No. TBD

