

GUIDE

B

Garden Suite REGULATIONS



This guide outlines the zoning regulations for garden suites



INTRODUCTION

This guide is the second in a series of three about garden suites. It leads you through the regulations for garden suites that are outlined in the Zoning Bylaw.



Eligibility requirements and the application process



Overview of Zoning Bylaw regulations



Guidelines for building and site design

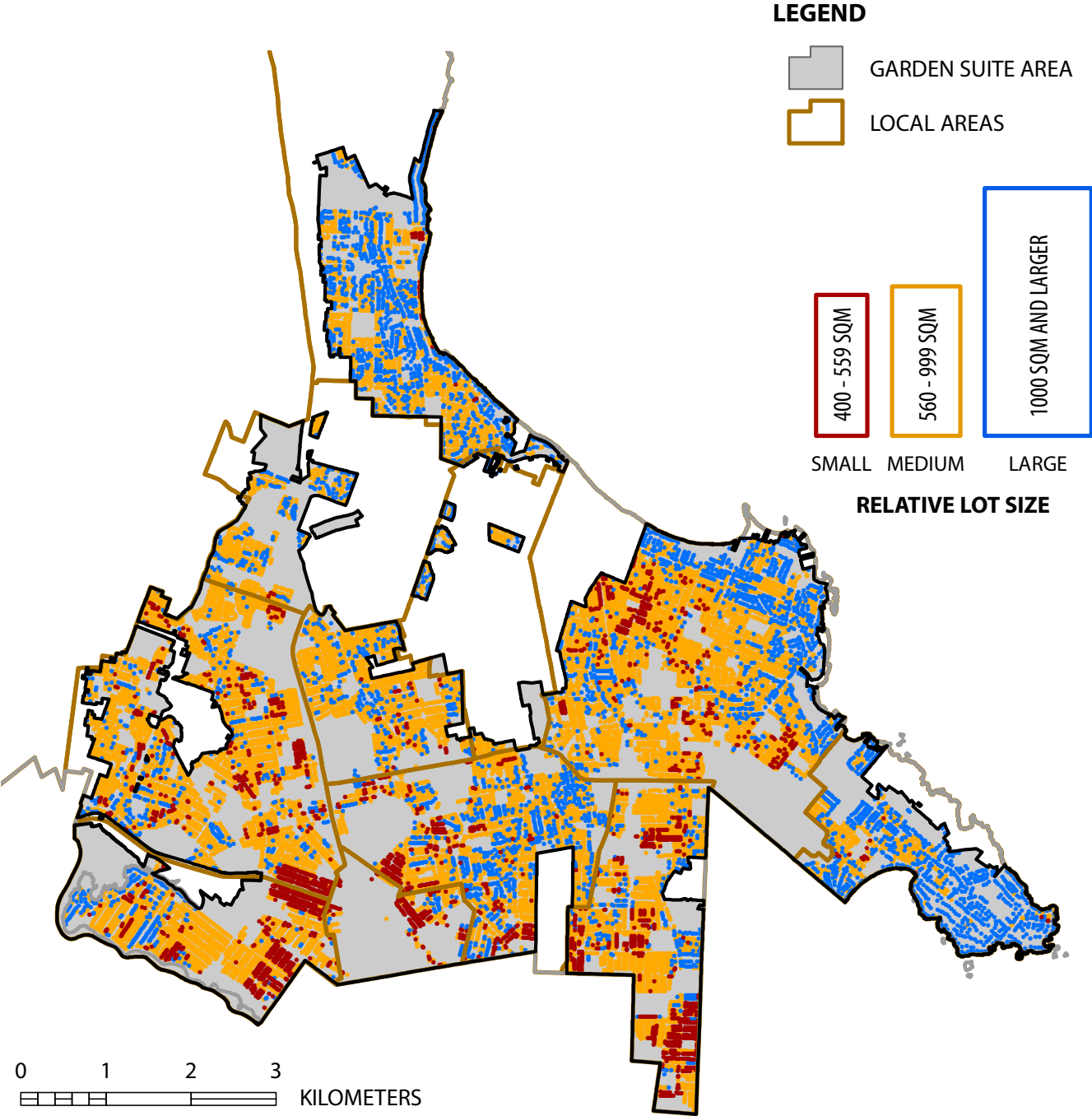
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CONTENTS

1.	Garden Suite Regulations	1
1.1	Single Family Residential - Allowable Lot Sizes.....	1
1.2	Single Family Residential - Small Lots.....	2
1.3	Single Family Residential - Medium Lots	3
1.4	Single Family Residential - Large Lots	4
2.	Other Regulations.....	5
2.1	Building and site.....	5
2.2	Projections.....	5
2.3	Determination of grade for garden suites.....	5
2.4	General Regulations.....	5
2.5	Site plans showing the location of the separation space for a garden suite	6
a)	Typical lot.....	6
b)	Irregular-shaped lot.....	6



1.1 Single Family Residential - Allowable Lot Sizes



Map showing the distribution of small, medium, and large residential lots in Saanich

1.2 Single Family Residential - Small Lots

Highlights of regulations

Lot size range: 400-559 m² (4,306 - 6,017 ft²)

Typical zones: RS-2, RS-4

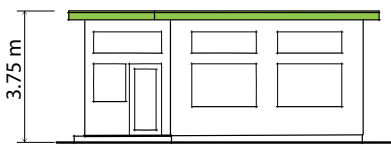
Maximum floor area: 46.5 m² (500 ft²)

Basement: Crawl space only

Sloped Roof ($\geq 3:12$ pitch)

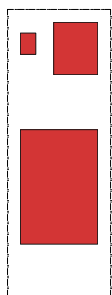
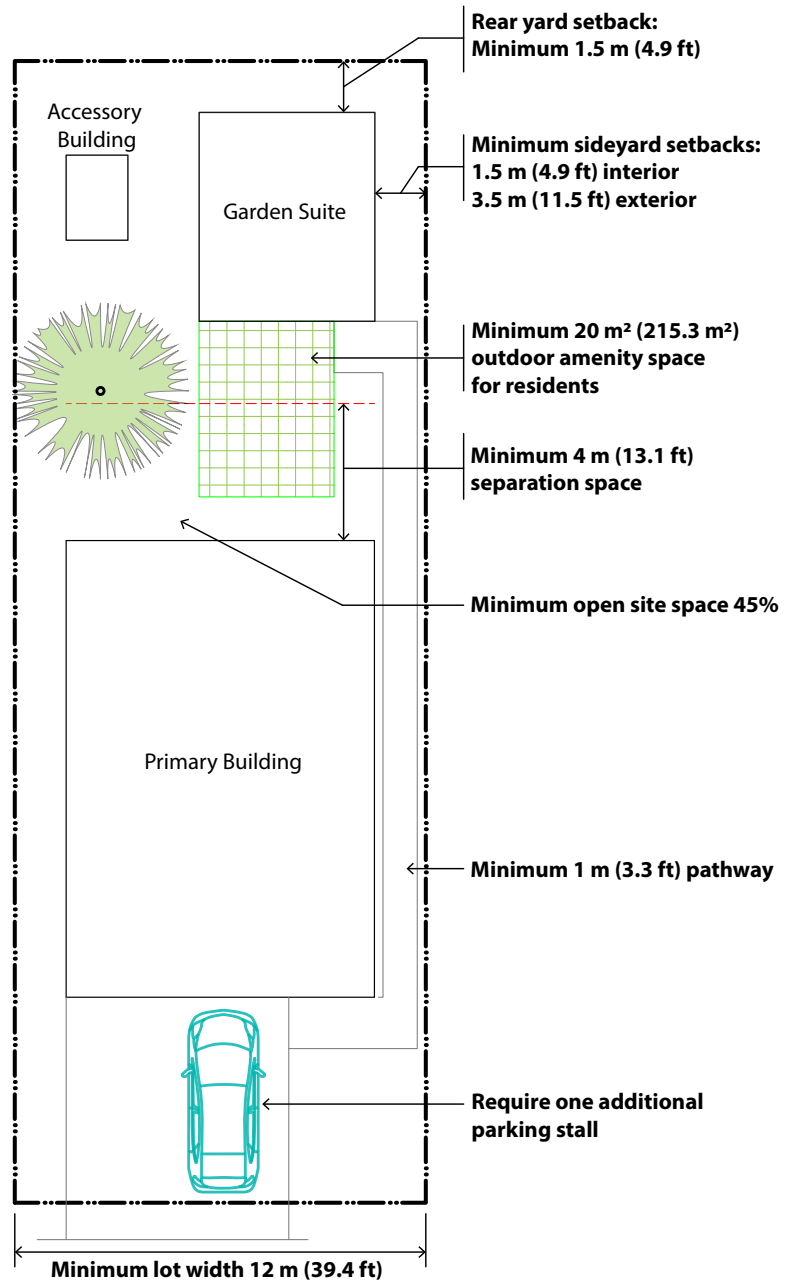


Flat Roof ($< 3:12$ pitch)

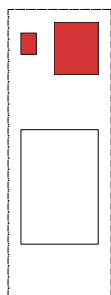


Maximum Height

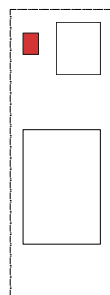
Consult the Design Guidelines for information on how to design your building and site



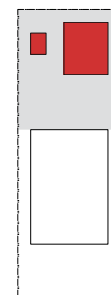
Maximum 40% site coverage (all buildings)



Maximum 10% site coverage (all accessory structures - including Garden Suite)



Maximum 7% site coverage (any individual accessory building - excluding Garden Suite)



Maximum 25% rear lot coverage (all accessory buildings)



1. Garden Suite Regulations

1.3 Single Family Residential - Medium Lots

Medium lot - highlights of regulations

Lot size range: 560-999 m² (6,028 -10,753 ft²)

Typical zones: RS-6, RS-8, RS-10, RS-12

Maximum floor area: 65 m² (700 ft²)

Basement: Crawl space only

Sloped Roof ($\geq 3:12$ pitch)

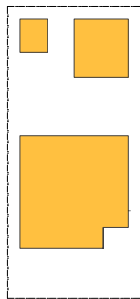
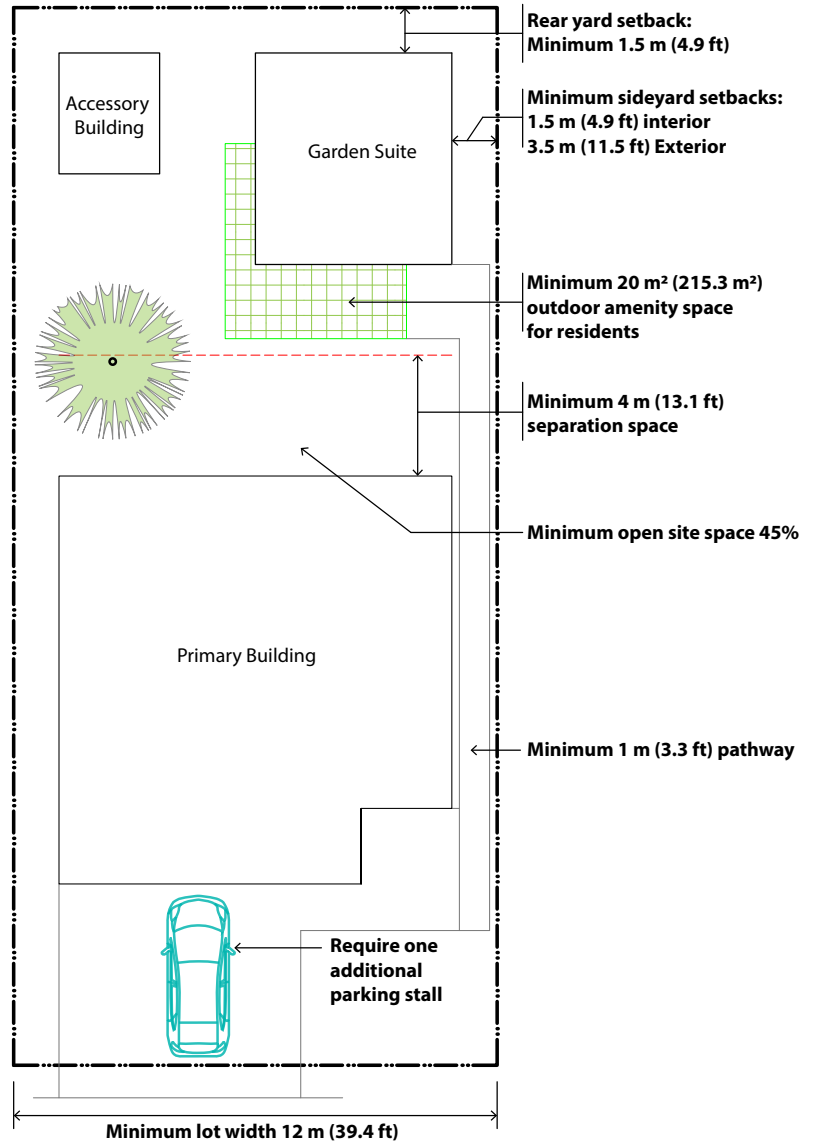


Flat Roof ($< 3:12$ pitch)

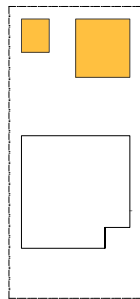


Maximum Height

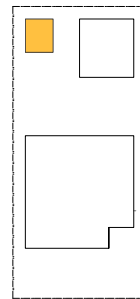
Consult the Design Guidelines for information on how to design your building and site



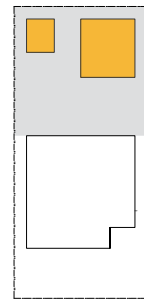
Maximum 40% site coverage (all buildings)



Maximum 10% site coverage (all accessory structures - including Garden Suite)



Maximum 7% site coverage (any individual accessory building - excluding Garden Suite)



Maximum 25% rear lot coverage (all accessory buildings)

1.4 Single Family Residential - Large Lots

Large lot - highlights of regulations

Lot size range: 1000 m² + (10,764 ft² +)

Typical zones: RS-12, RS-14, RS-14A, RS-15, RS-16, RS-18

Maximum floor area: 93 m² (1,000 ft²)

Second Storey: Permitted (see specific setback requirements)

Basement: Crawl space only

Sloped Roof ($\geq 3:12$ pitch)

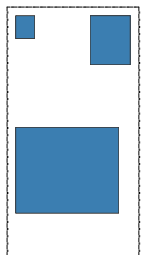
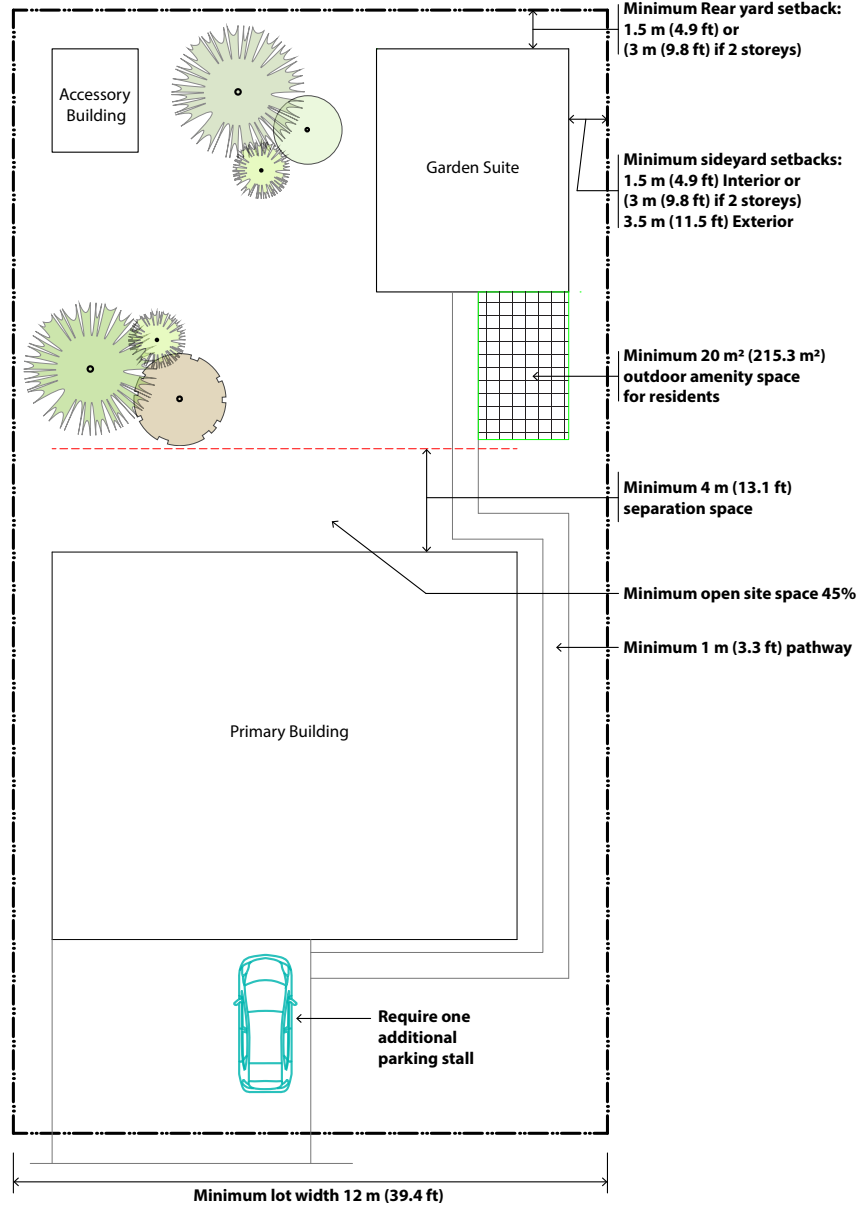


Flat Roof ($< 3:12$ pitch)



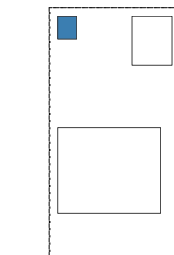
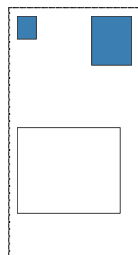
Maximum Height

Consult the Design Guidelines for information on how to design your building and site

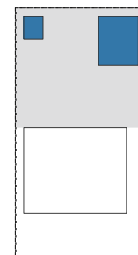


Maximum 40% site coverage (all buildings)

1000 m² (10,764 ft²) - 1329 m² (14,305 ft²) - max 10%
 1330 m² (14,316 ft²) - 1999 m² (21,517 ft²) - max 7%
 >2000 m² (21,527 ft²) 5% site coverage (all accessory structures - including Garden Suite)



70 m² Max. site coverage (any individual accessory building - excluding Garden Suite)



Maximum 25% rear lot coverage (all accessory buildings)



1. Garden Suite Regulations



2.1 Building and site

- If a flat or shallow roof form is proposed, the area of the second floor shall be reduced to an area of 60% of the total floor area beneath it.
- Where the distance from a floor to the floor above, or where there is no floor above, to the top of the roof joists, exceeds 3.75 m, an amount equal to the area of the floor below the excess height shall be included in the calculation of floor area.
- A clear pathway that is a minimum of 1.0 m wide (3.3 ft.) shall be provided from the sidewalk or street to the front door of the garden suite.
- Cantilevered balconies are not permitted on the front, interior side, or rear yard elevations of a garden suite.
- The relevant provisions of Section 5 and 7 of the Zoning Bylaw shall apply.

2.2 Projections

- Notwithstanding Section 5.8 (a) of the Zoning Bylaw, bay windows and corner projections that extend beyond the face of a garden suite into a required rear or interior side yard are not permitted.
- Notwithstanding Section 5.8 (c) of the Zoning Bylaw, steps and porches that extend beyond the face of a garden suite into a required rear or interior side yard are not permitted.
- Notwithstanding Section 5.8 (c) of the Zoning Bylaw, cantilevered balconies that project beyond the face of a garden suite into a required exterior side yard are not permitted.

2.3 Determination of grade for garden suites

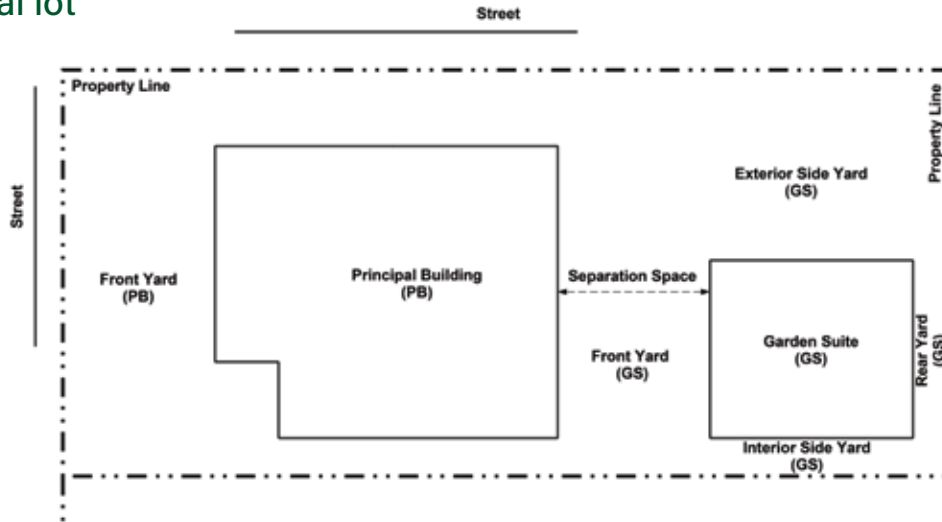
- Grade shall be expressed in relation to geodetic datum.
- Grade shall be calculated by taking the average elevation - at existing natural grade or finished grade, whichever is the lesser - of the points of the polygon having the shortest perimeter that will encompass the outermost walls of the building or structure.
- Where it is proposed to construct all or part of a building or structure on land where fill has been placed on top of the natural grade, grade shall mean the plane of elevation of the original natural grade directly below the location of the smallest polygon prescribed in Section 5.18 (b). In such a case, the Manager of Inspection Services may require the applicant for the building permit to produce, at their expense, a certificate from a geotechnical engineer or other qualified professional identifying, by means of plans or other satisfactory documentation, the original natural grade.
- In a case where it is proposed to construct a building or structure or any part thereof on land where the current surface of the land is below the original natural grade, the current surface of the land shall be deemed to be the natural grade of the land.

2.4 General Regulations

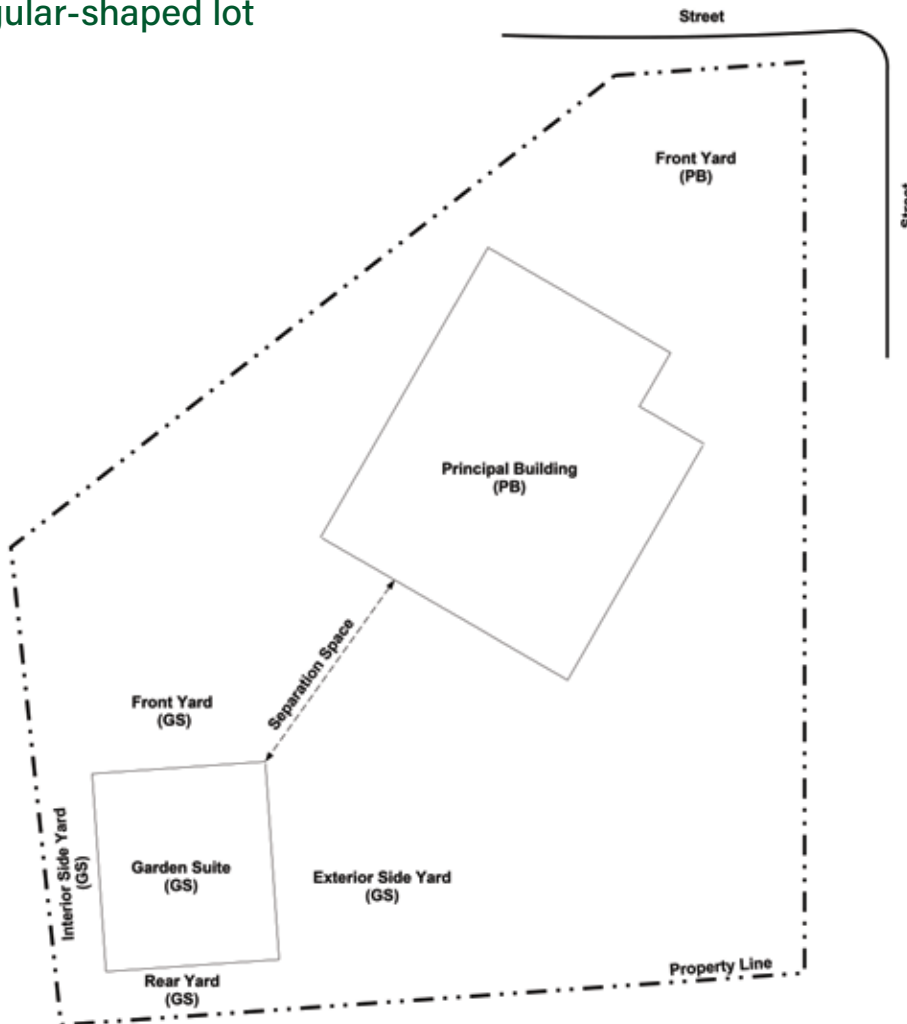
- No more than one garden suite is permitted on a lot.
- Bed and Breakfast use is prohibited in a garden suite.
- Short-term rental use is prohibited in a garden suite.
- Boarding use is prohibited in a garden suite.
- A garden suite is only permitted where the owner of the lot has registered a covenant under section 219 of the Land Title Act (*italics*) providing that the garden suite must not be subdivided from the lot containing the principal building.
- The registered owner of the lot must occupy either the single family dwelling or the garden suite as the owner's principal residence.

2.5 Site plans showing the location of the separation space for a garden suite

a) Typical lot



b) Irregular-shaped lot





Definitions

Bed and Breakfast – a type of home occupation use that provides temporary accommodation to guests in a home where the nightly room rate includes breakfast.

Garden Suite – a building containing one dwelling unit that is detached from the principal building on the lot.

Gross Floor Area (GS) – the sum of the total floor area of all storeys, including basement, of a garden suite measured to the outside face of the exterior walls and, in the case of an attached carport, measured to the outermost face of the supporting columns. The Gross Floor Area of an attached carport or garage shall be included in the Gross Floor Areas (GS), calculations for the garden suite. The following are excluded: the areas of canopies, sundecks, outside stairs, separate carports, garages, uninsulated attic spaces, and insulated attic spaces with a ceiling height from the floor of less than 1.67 m (5.5 ft).

Height – the vertical distance measured from grade to the highest point of a building with a flat roof or a roof with a pitch that is less than 3:12. It can also be the vertical distance measured from grade to the highest midpoint between the eaves and ridge of any gable, hip, gambrel or other sloping roof on a building with a pitch of 3:12 or greater.

Lot width – the steps to measure the width of your lot are as follows:

1. Determine the minimum lot width of the zone in which your property is located;
2. Measure the mid-point for the front and rear property lines and draw a straight line to connect them;
3. From the mid-point of the front lot line, measure the length of the minimum lot width requirement for your zone (e.g. 12 m) and mark the spot with a dot on the line connecting the front and rear lot lines; and
4. Starting at this dot, measure the width of the lot from side property line to side property line. The measured distance is the width of your lot.

Short Term Rental – rental of a dwelling unit, or one or more bedrooms in a dwelling unit for overnight accommodation for a period of less than 30 days in a row.

Property information, including lot size and zoning:

You can find information about your property online at saanich.ca/saanichmap. Launch the map viewer and locate your property by entering your address in the search bar. Once your property is displayed, you will see a parcel identifier. Click on the parcel identifier, then click on your address. A list of property attributes will be displayed including lot area in square metres and zoning.

REFER TO ZONING BYLAW FOR COMPLETE REGULATIONS.



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